

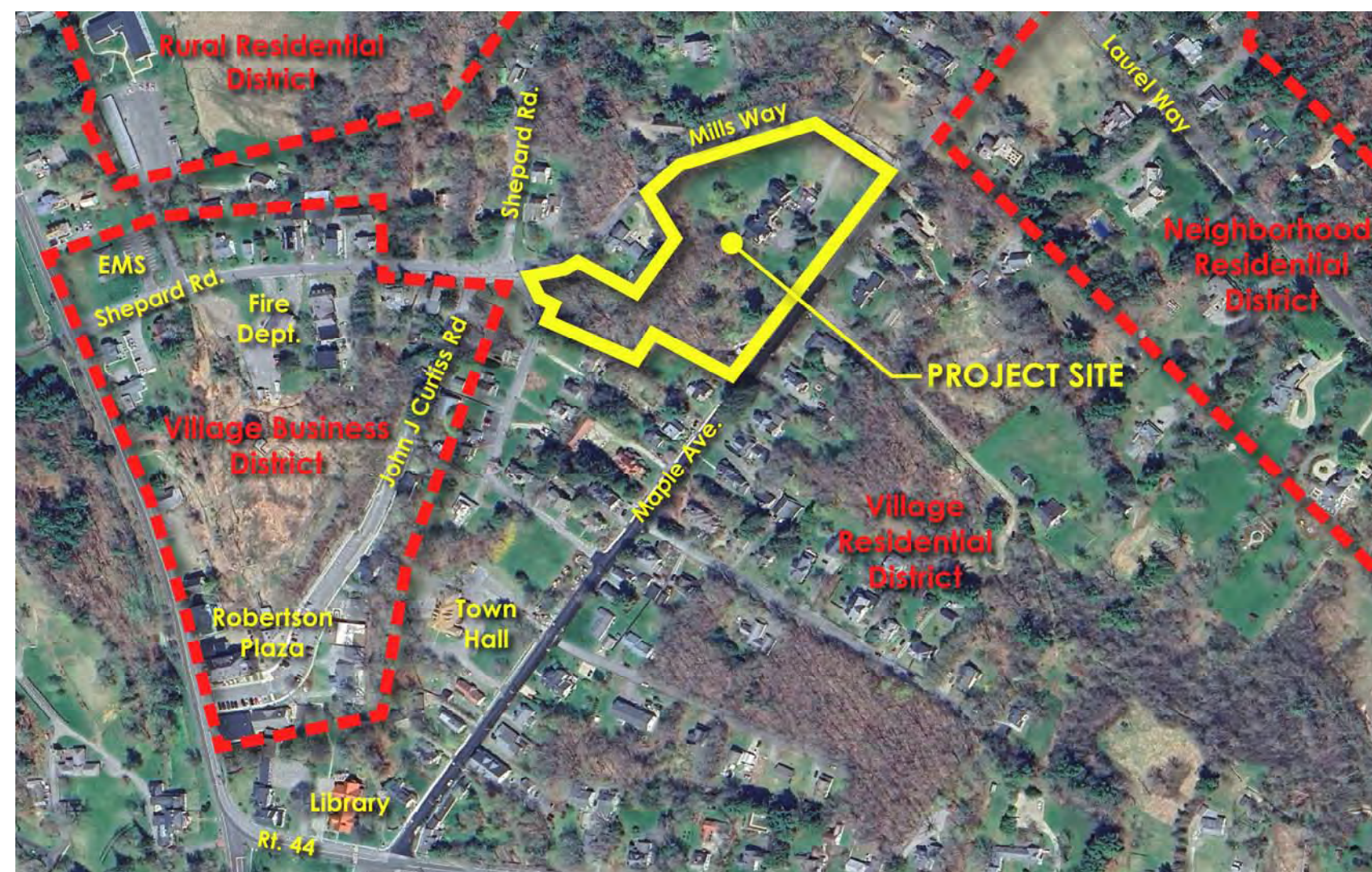
MANOR HOUSE INN

69 Maple Avenue, Norfolk, Connecticut 06058



PROPERTY IMPROVEMENT PLAN

LOCATION MAP



DRAWING LIST

- | | | | |
|--------------|------------------------------------|--------------|---|
| EX-1 | SITE SURVEY | C-6.1 | PROPOSED SITE LIGHTING DETAILS |
| C-1 | EXISTING SITE PLAN | C-7 | PROPOSED PLANTING PLAN |
| C-2 | PROPOSED OVERALL SITE PLAN | C-7.1 | PROPOSED PLANT SCHEDULE & DETAILS |
| C-3 | PROPOSED SITE LAYOUT PLAN | C-7.2 | PROPOSED PLANT IMAGES |
| C-3R | PROPOSED SITE RENDERING | ES-1 | SEDIMENTATION AND EROSION CONTROL NOTES |
| C-3E | PROPOSED ELEVATION FROM MAPLE AVE. | A-1 | PROPOSED GARAGE PLAN/ELEVATIONS |
| C-3.1 | PROPOSED SITE ENLARGEMENT PLAN | A-2 | PROPOSED SAUNA PLAN/ELEVATIONS |
| C-3.2 | PROPOSED SITE DETAILS | A-4.1 | PROPOSED ADDITION & ALTERATIONS ELEVATIONS |
| C-4 | PROPOSED SITE GRADING PLAN | A-4.2 | PROPOSED ADDITION & ALTERATIONS FLOOR PLANS |
| C-5 | PROPOSED SITE DRAINAGE PLAN | A-4.3 | PROPOSED ADDITION & ALTERATIONS FLOOR PLANS |
| C-6 | PROPOSED SITE LIGHTING PLAN | | |

PREPARED FOR:
Ray Hospitality, Inc.
69 Maple Avenue
Norfolk, Connecticut



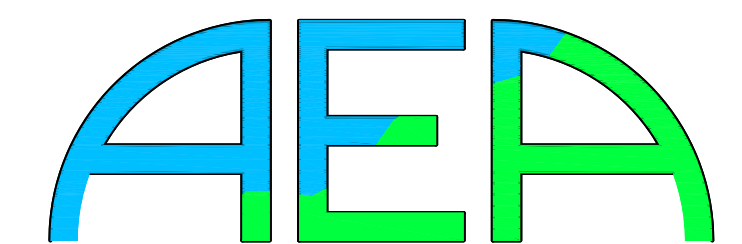
COUNSEL:
HINCKLEY ALLEN
20 CHURCH STREET, HATFORD, CT 06103
(860) 725-6200 WWW.HINCKLEYALLEN.COM

ISSUED FOR PERMITTING
December 3, 2024

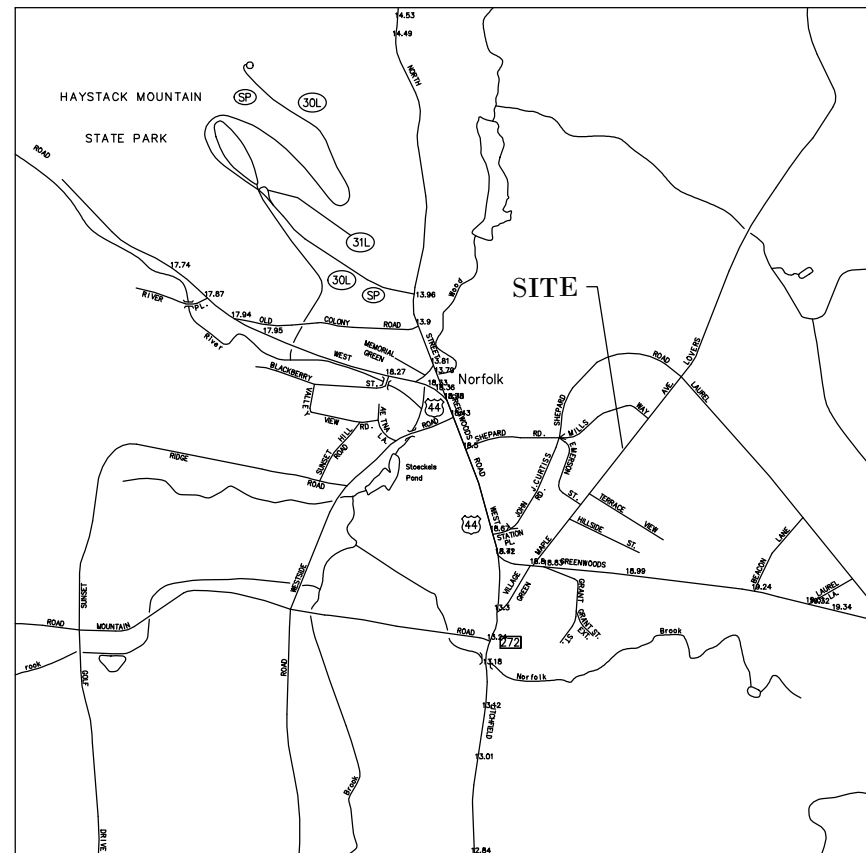
(Updated per Staff Comments 2/20/2025)



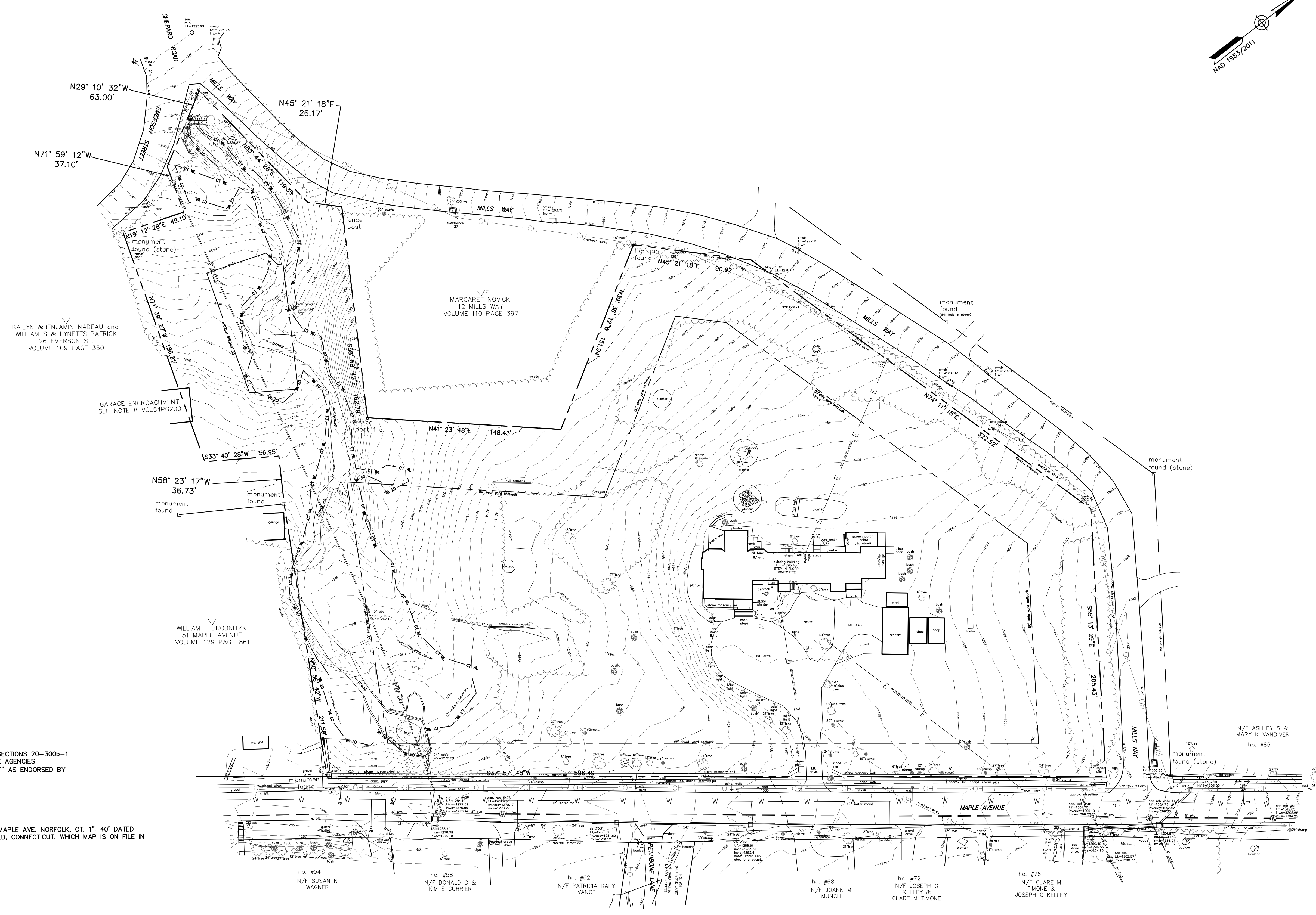
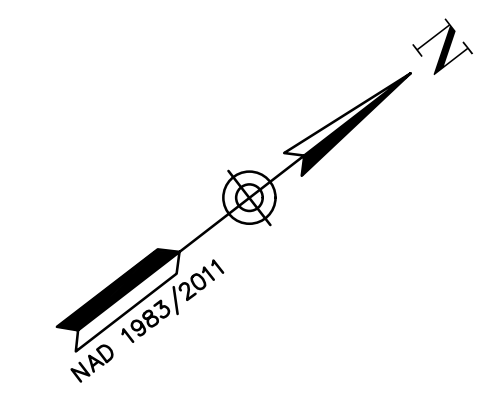
ROB WHITE ARCHITECT LLC
441 OXFORD ROAD, OXFORD, CT 06478
(203) 846-7189 WWW.ROBWHITEARCHITECT.COM



Allied Engineering Assoc. Inc.
95 Main St. 3rd. Flr. East, PO Box 726
North Canaan, Connecticut 06018
860-824-1400 860-824-1401 fax
aea.george@gmail.com



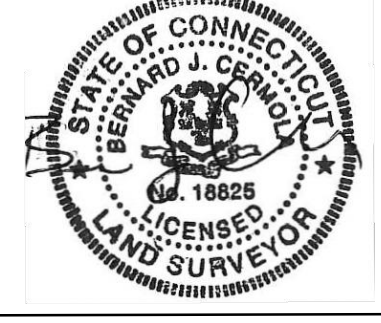
LOCATION MAP



- NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
 2. THE TYPE OF SURVEY IS A PROPERTY SURVEY
 3. BOUNDARY DETERMINATION CATEGORY BEING A RESURVEY.
 4. CLASS OF ACCURACY HORIZONTAL CLASS A-2 AND A VERTICAL T-2.
 5. REFERENCE IS MADE TO THE FOLLOWING MAP.
 - A. SURVEY OF BOYLE PROPERTY EMERSON ST. MILLS WAY RD. AND MAPLE AVE. NORFOLK, CT. 1"=40' DATED MARCH 1985 PREPARED BY PETER B. KEEFE LAND SURVEYOR, WINSTED, CONNECTICUT. WHICH MAP IS ON FILE IN NORFOLK LAND RECORDS NO. 967.
 6. PROPERTY IS RECORDED IN DEED VOLUMN 121 PAGE 127-738-739.
 7. DATUM REFERENCE CGS NAD 1983/2011 AND NAVD 1988
 8. PROPERTY IS SUBJECT TO EASEMENTS AND RIGHTS LISTED BELOW AS WELL AS OTHERS.
 - VOLUME 54 PAGE 200 EASEMENT FOR OUTBUILDING ENCROACHMENT.
 - VOLUME 39 PAGE 125 WATER AND SEWER EASEMENT
 - VOLUME 82 PAGE 98 SPECIAL USE PERMIT
 - RIPARIAN RIGHTS OF OTHERS IN AND TO THE BROOK CROSSING.

Village Residential Zoning Table

ITEM	REQUIRED/ALLOWED	PROVIDED/PARCEL "B"
MINIMUM LOT AREA	21,780 S.F.	220,291 S.F.
MINIMUM SETBACK FRONT YARD	25 FEET	135.7 FEET
MINIMUM SETBACK OTHER	15 FEET	107.6 FEET
MAXIMUM BUILDING HEIGHT	45 FEET	
MAXIMUM GROUND COVERAGE	20 %	



BERNARD J. CERMOLA L.S. #18825
 THIS SURVEY WAS CONDUCTED ON THE GROUND IN JUNE 2022 AND TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT.

DATE: February 2025
 PROJECT NO: 2435
 DESIGNED BY: ERN
 DRAWN BY: ERN
 CHECKED BY: RS
 APPROVED BY: JAC

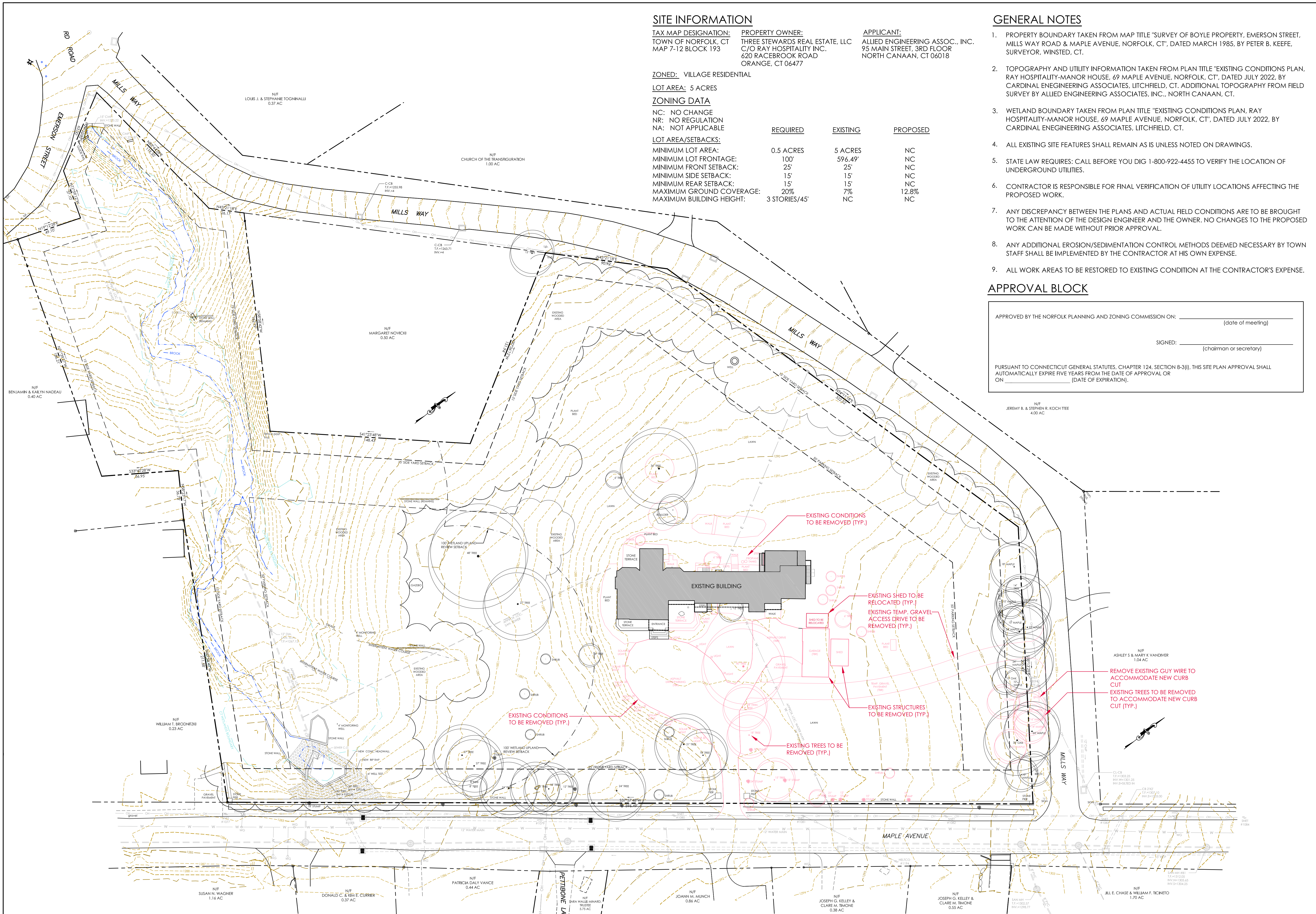
CARDINAL
 ENGINEERING ASSOCIATES
 480 RESEARCH PARKWAY MERIDEN, CT 06450 203-238-1169
 457 BANTAM RD | LITCHFIELD, CT 06751 860-397-7106

PROPERTY SURVEY
 THREE STEWARDS REAL ESTATE LLC &
 C/O RAY HOSPITALITY INC.
 EXISTING CONDITIONS
 69 MAPLE AVE.
 NORFOLK, CONNECTICUT

NO. _____
 REVISION _____

BY _____
 DATE _____

EX-1



SITE INFORMATION

TAX MAP DESIGNATION: TOWN OF NORFOLK, CT MAP 7-12 BLOCK 193
 PROPERTY OWNER: THREE STEWARDS REAL ESTATE, LLC C/O RAY HOSPITALITY INC. 620 RACEBROOK ROAD ORANGE, CT 06477
 APPLICANT: ALLIED ENGINEERING ASSOC., INC. 95 MAIN STREET, 3RD FLOOR NORTH CANAAN, CT 06018

ZONED: VILLAGE RESIDENTIAL

LOT AREA: 5 ACRES

ZONING DATA

NC: NO CHANGE
 NR: NO REGULATION
 NA: NOT APPLICABLE

LOT AREA/SETBACKS:

MINIMUM LOT AREA: 0.5 ACRES
 MINIMUM LOT FRONTAGE: 100'
 MINIMUM FRONT SETBACK: 25'
 MINIMUM SIDE SETBACK: 15'
 MINIMUM REAR SETBACK: 15'
 MAXIMUM GROUND COVERAGE: 20%
 MAXIMUM BUILDING HEIGHT: 3 STORIES/45'

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	0.5 ACRES	5 ACRES	NC
MINIMUM LOT FRONTAGE:	100'	596.49'	NC
MINIMUM FRONT SETBACK:	25'	25'	NC
MINIMUM SIDE SETBACK:	15'	15'	NC
MINIMUM REAR SETBACK:	15'	15'	NC
MAXIMUM GROUND COVERAGE:	20%	7%	12.8%
MAXIMUM BUILDING HEIGHT:	3 STORIES/45'	NC	NC

GENERAL NOTES

- PROPERTY BOUNDARY TAKEN FROM MAP TITLE "SURVEY OF BOYLE PROPERTY, EMERSON STREET, MILLS WAY ROAD & MAPLE AVENUE, NORFOLK, CT", DATED MARCH 1985, BY PETER B. KEEFE, SURVEYOR, WINSTED, CT.
- TOPOGRAPHY AND UTILITY INFORMATION TAKEN FROM PLAN TITLE "EXISTING CONDITIONS PLAN, RAY HOSPITALITY-MANOR HOUSE, 69 MAPLE AVENUE, NORFOLK, CT", DATED JULY 2022, BY CARDINAL ENGINEERING ASSOCIATES, LITCHFIELD, CT. ADDITIONAL TOPOGRAPHY FROM FIELD SURVEY BY ALLIED ENGINEERING ASSOCIATES, INC., NORTH CANAAN, CT.
- WETLAND BOUNDARY TAKEN FROM PLAN TITLE "EXISTING CONDITIONS PLAN, RAY HOSPITALITY-MANOR HOUSE, 69 MAPLE AVENUE, NORFOLK, CT", DATED JULY 2022, BY CARDINAL ENGINEERING ASSOCIATES, LITCHFIELD, CT.
- ALL EXISTING SITE FEATURES SHALL REMAIN AS IS UNLESS NOTED ON DRAWINGS.
- STATE LAW REQUIRES: CALL BEFORE YOU DIG 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK.
- ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE OWNER. NO CHANGES TO THE PROPOSED WORK CAN BE MADE WITHOUT PRIOR APPROVAL.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL METHODS DEEMED NECESSARY BY TOWN STAFF SHALL BE IMPLEMENTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK AREAS TO BE RESTORED TO EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.

APPROVAL BLOCK

APPROVED BY THE NORFOLK PLANNING AND ZONING COMMISSION ON: _____ (date of meeting)

SIGNED: _____ (chairman or secretary)

PURSUANT TO CONNECTICUT GENERAL STATUTES, CHAPTER 124, SECTION 8-3(I), THIS SITE PLAN APPROVAL SHALL AUTOMATICALLY EXPIRE FIVE YEARS FROM THE DATE OF APPROVAL OR ON _____ (DATE OF EXPIRATION).

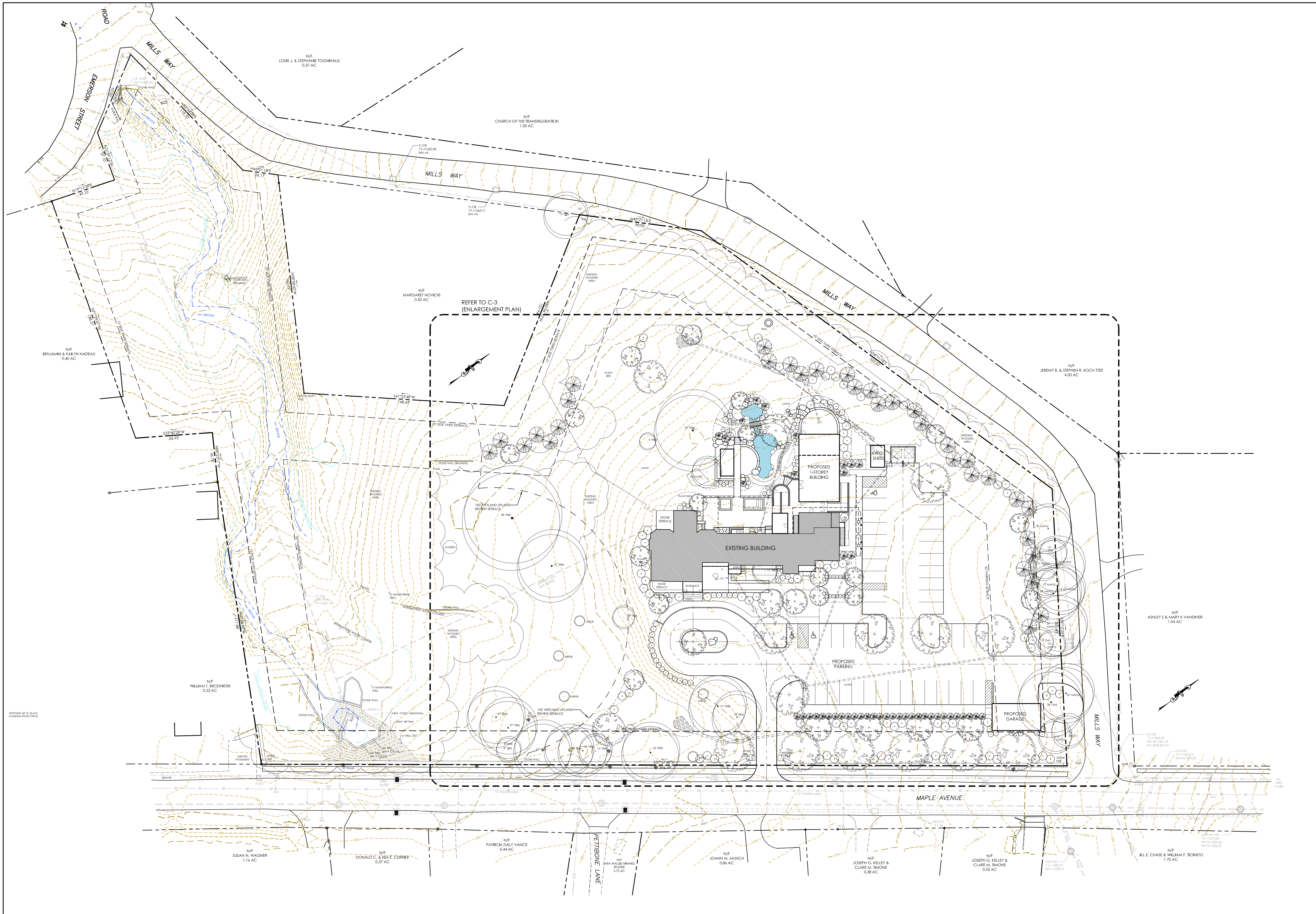
JEREMY B. & STEPHEN R. KOCHTIEE
4.00 AC

AEA
 Allied Engineering Assoc. Inc.
 95 Main St. 3rd Fl. East
 P.O. Box 7700 North Canaan, CT 06018
 860-824-1400 860-824-1401 fax
 aeat.george@gmail.com

REVISIONS - DESCRIPTION - DATE - INITIAL
 1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
 EXISTING SITE PLAN
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

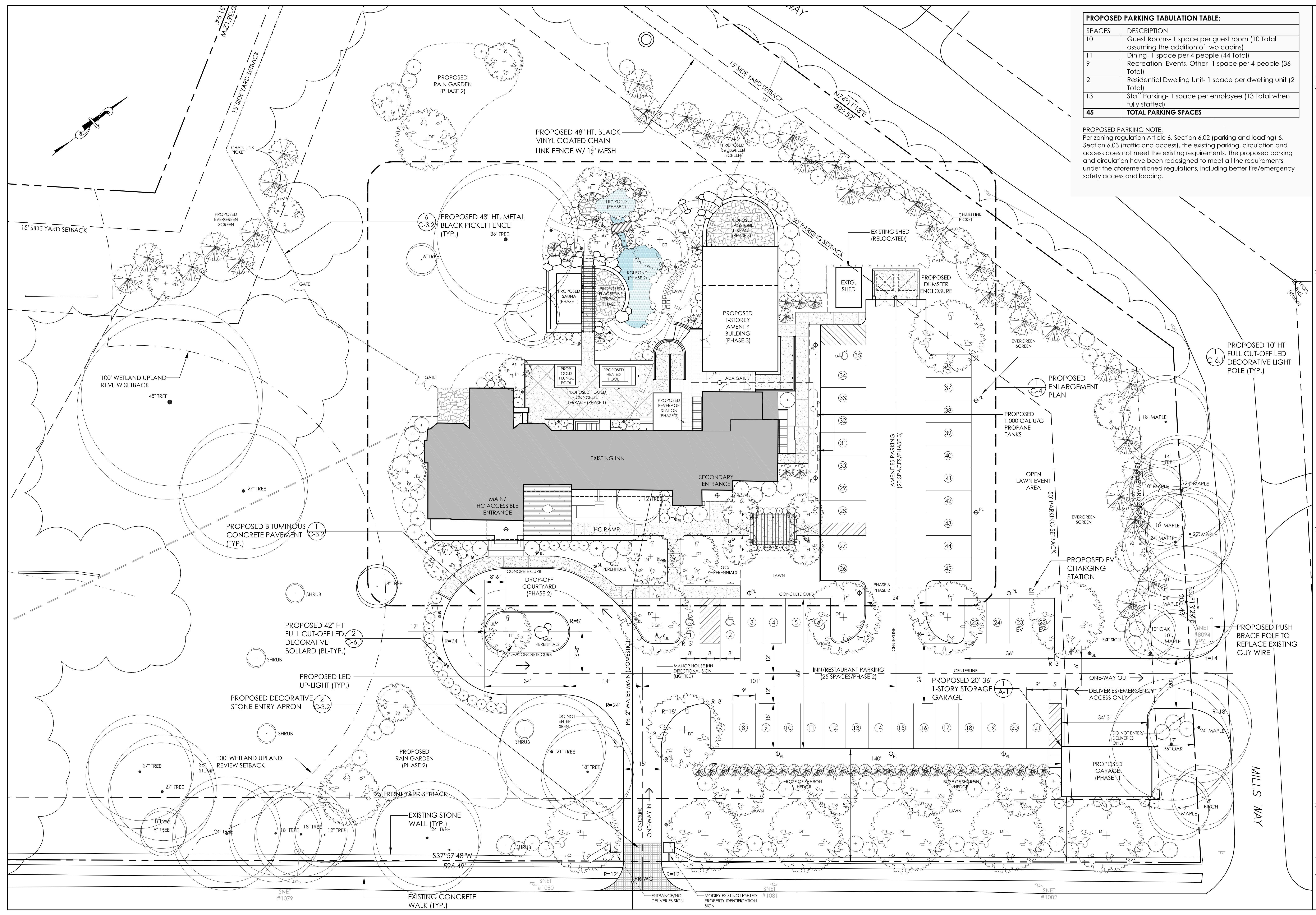
SCALE: 1"=30'
 FILE NAME: 1075-SITE PLAN-3
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-1



- REVISIONS - DESCRIPTION - DATE - INITIAL
 1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED OVERALL SITE PLAN
 PREPARED FOR:
RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: 1"=30'
 FILE NAME: 1075-SITE PLAN-3
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-2



PROPOSED PARKING TABULATION TABLE:

SPACES	DESCRIPTION
10	Guest Rooms- 1 space per guest room (10 Total assuming the addition of two cabins)
11	Dining- 1 space per 4 people (44 Total)
9	Recreation, Events, Other- 1 space per 4 people (36 Total)
2	Residential Dwelling Unit- 1 space per dwelling unit (2 Total)
13	Staff Parking- 1 space per employee (13 Total when fully staffed)
45	TOTAL PARKING SPACES

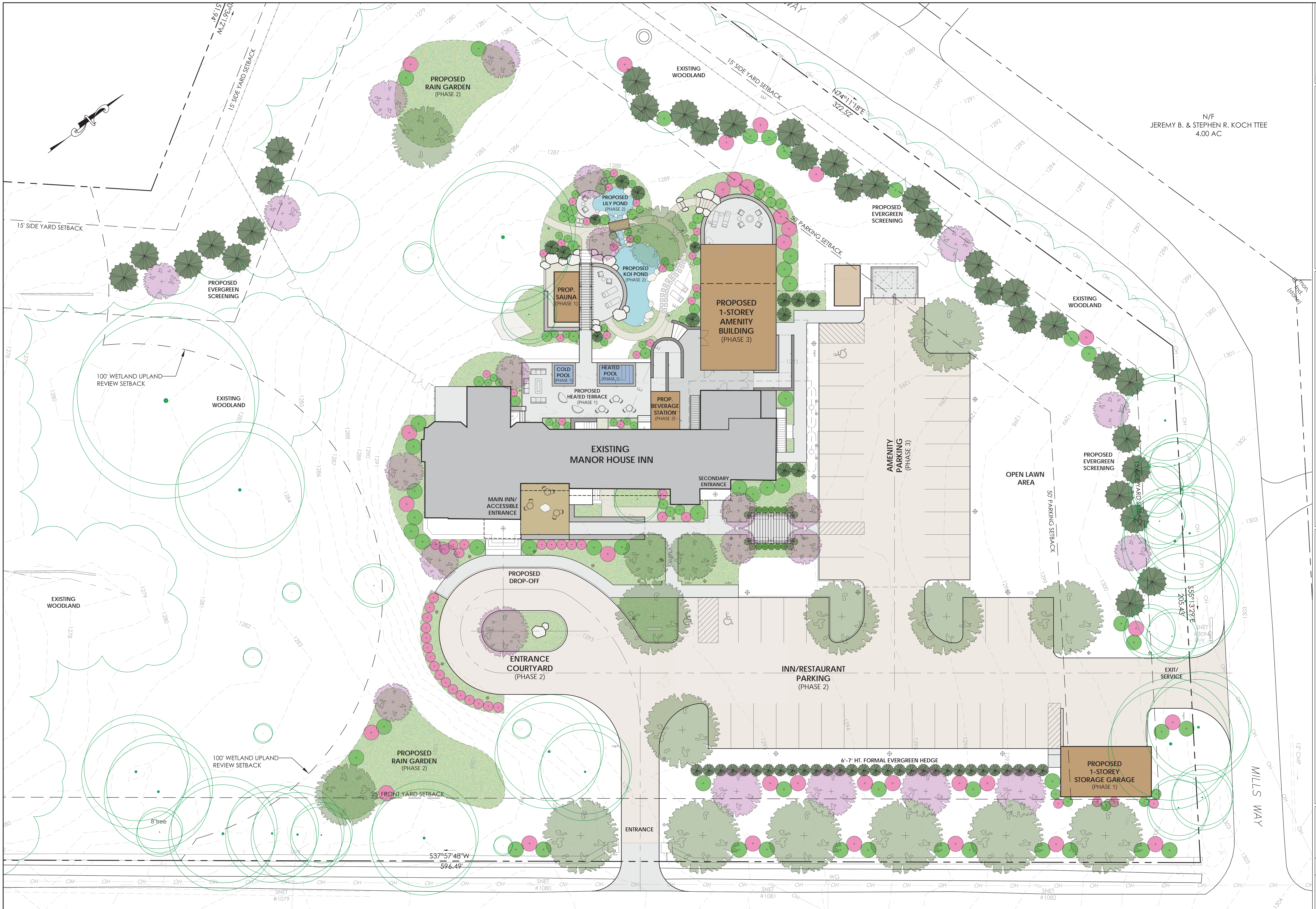
PROPOSED PARKING NOTE:
 Per zoning regulation Article 6, Section 6.02 (parking and loading) & Section 6.03 (traffic and access), the existing parking, circulation and access does not meet the existing requirements. The proposed parking and circulation have been redesigned to meet all the requirements under the aforementioned regulations, including better fire/emergency safety access and loading.

AEA
 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl. East
 P.O. Box 7700, North Attleboro, MA 01961
 860-824-1400 (ext. 1401) fax
 aea.george@gmail.com

REVISIONS - DESCRIPTION - DATE - INITIAL
 1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE LAYOUT PLAN
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: 1"=16'
 FILE NAME: 1075-SITE PLAN-3
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-3



N/F
JEREMY B. & STEPHEN R. KOCH TTEE
4.00 AC

AEFA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
P.O. Box 7700
Norfolk, CT 06018
860-824-1400
860-824-1401 fax
aeaf.george@gmail.com

- REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

**MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE LAYOUT PLAN (RENDERING)**
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1"=16'
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-3R



**ALTERNATIVE
PROPOSED ELEVATION FROM MAPLE AVENUE**

Parking Note:

The majority of parked cars will be screened from Maple Avenue by a 6'-7' ht. formal evergreen hedge with additional plantings.

SEA

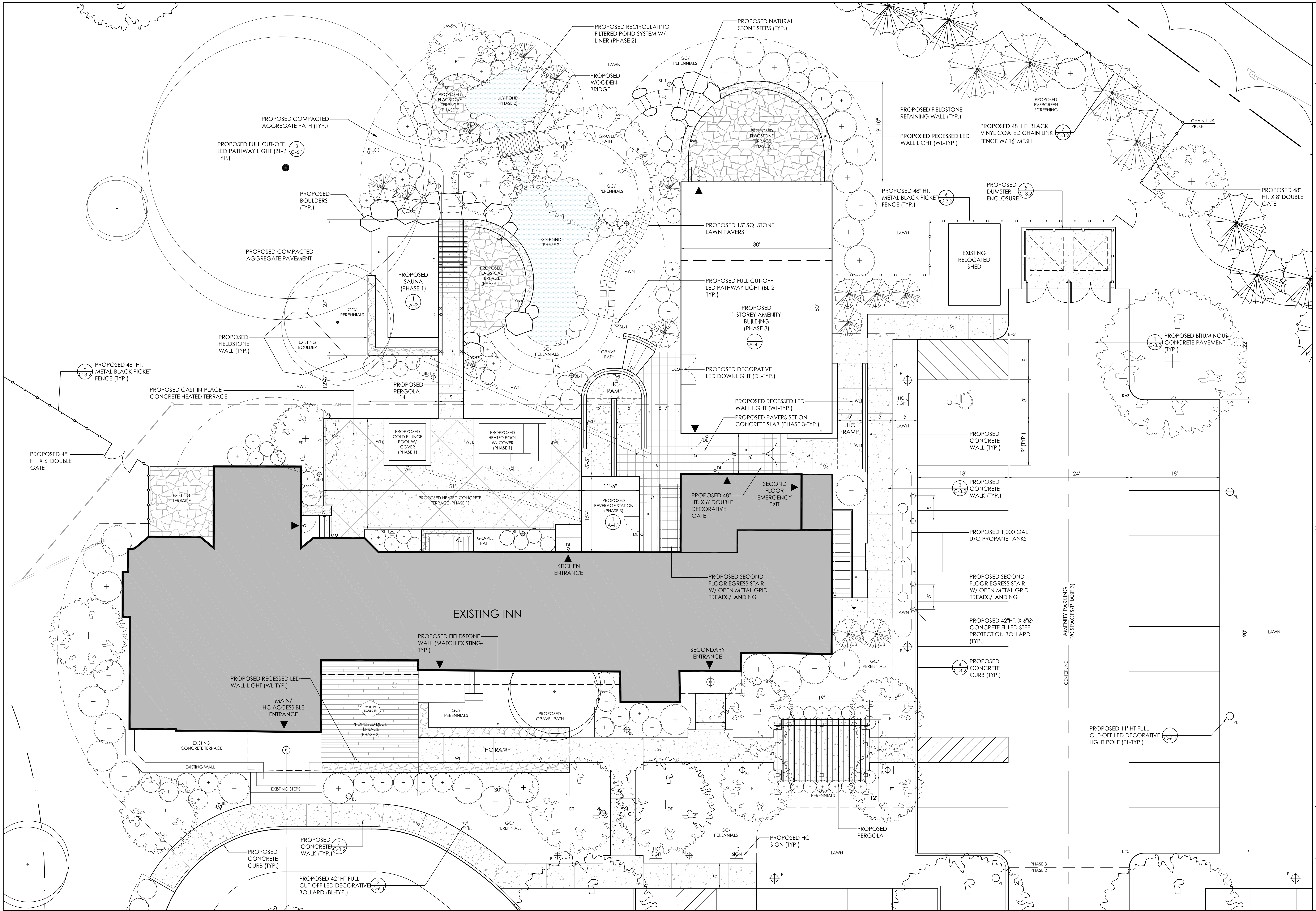
AEA
Allied Engineering Assoc. Inc.
95 Main St. 3rd. Flr. East
P.O. Box 726 North Canaan, Ct 06018
860-824-1400 860-824-1401 fax
aet.george@gmail.com

REVISIONS - DESCRIPTION - DATE - INITIAL
2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED ELEVATION FROM MAPLE AVE.
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: NOT TO SCALE
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO.

C-3E



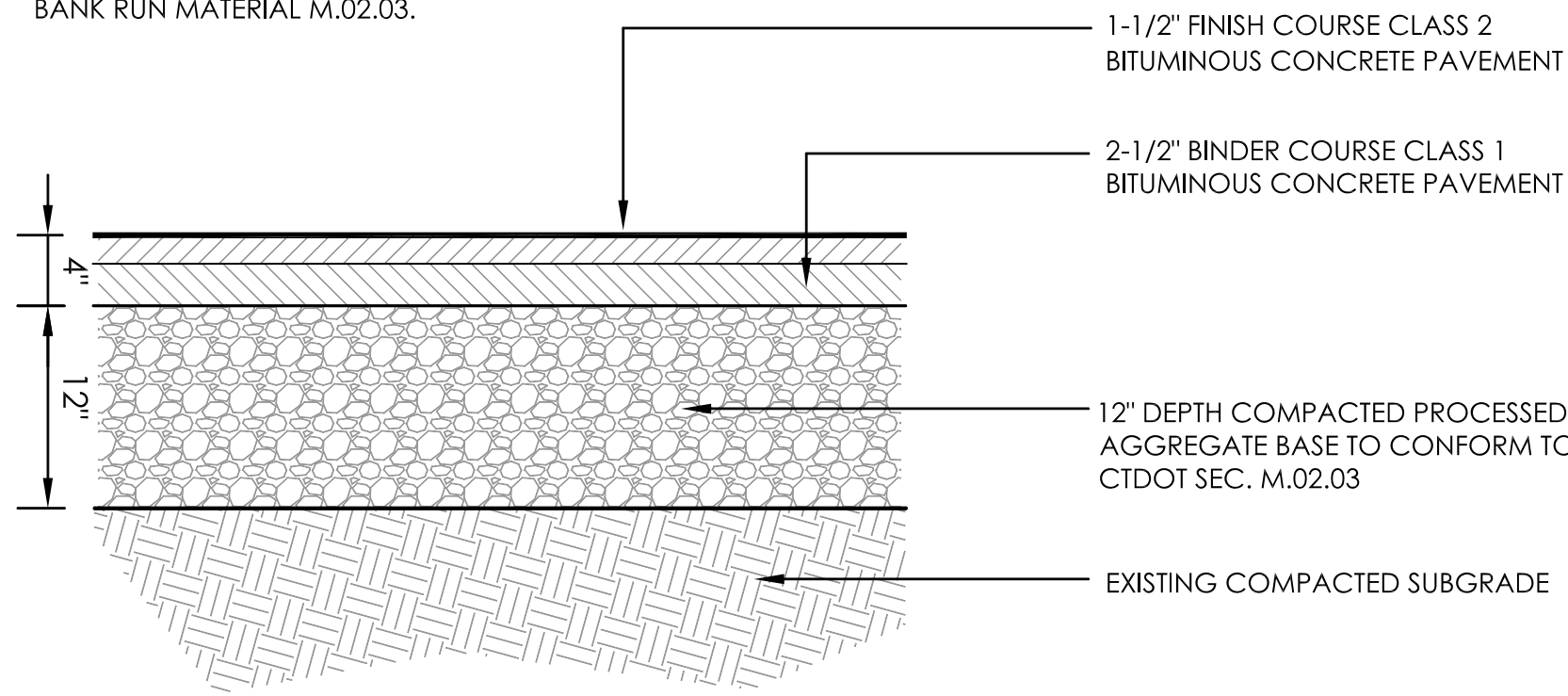
AEFA
 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl. East
 P.O. Box 7700
 06018
 860-824-1400
 860-824-1401 fax
 aeafae@gmail.com

- REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

**MANOR HOUSE INN PROPERTY IMPROVEMENT
 PROPOSED SITE ENLARGEMENT PLAN**
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

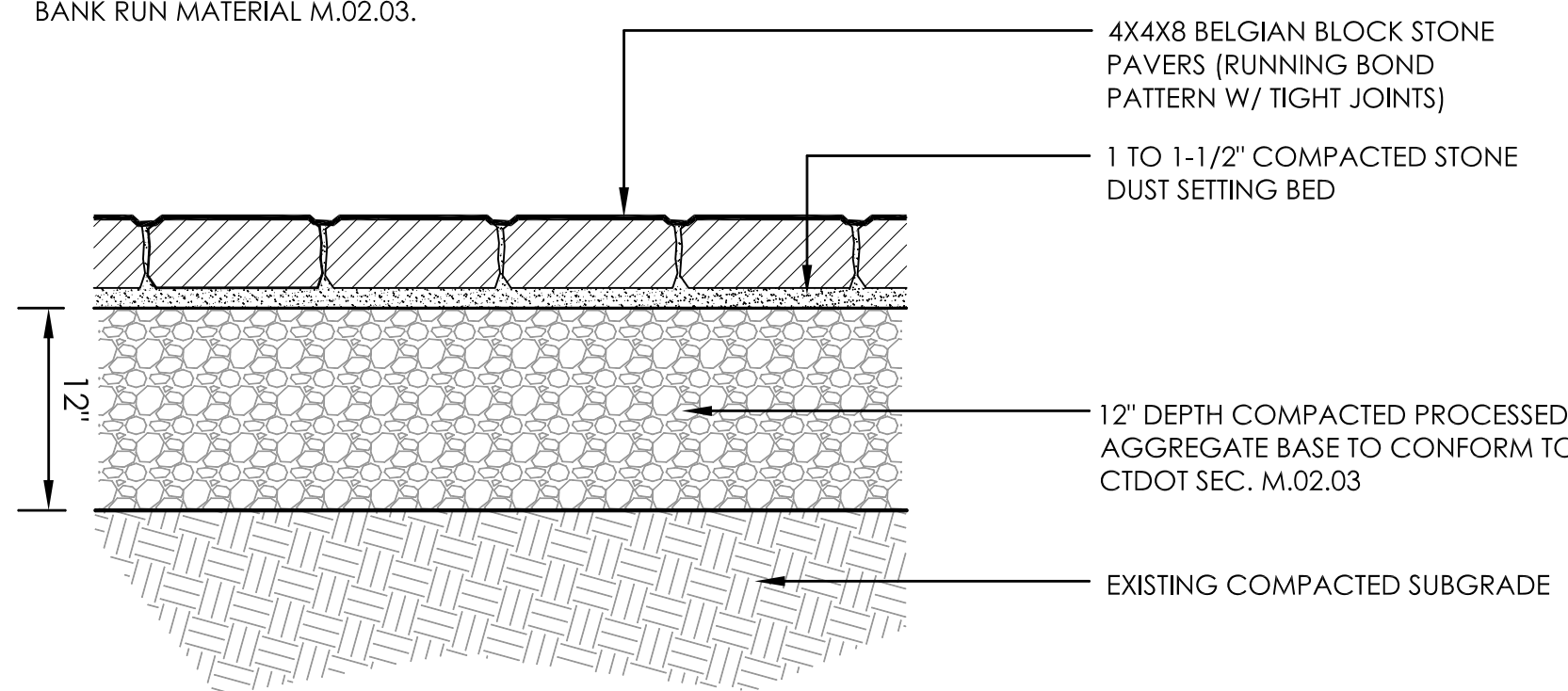
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 FILE NAME: 1075-SITE PLAN-3
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-3.1

NOTE:
ANY UNSUITABLE MATERIAL DISCOVERED
UNDER PAVEMENT AREAS SHALL BE
REMOVED AND REPLACED WITH COMPACTED
BANK RUN MATERIAL M.02.03.



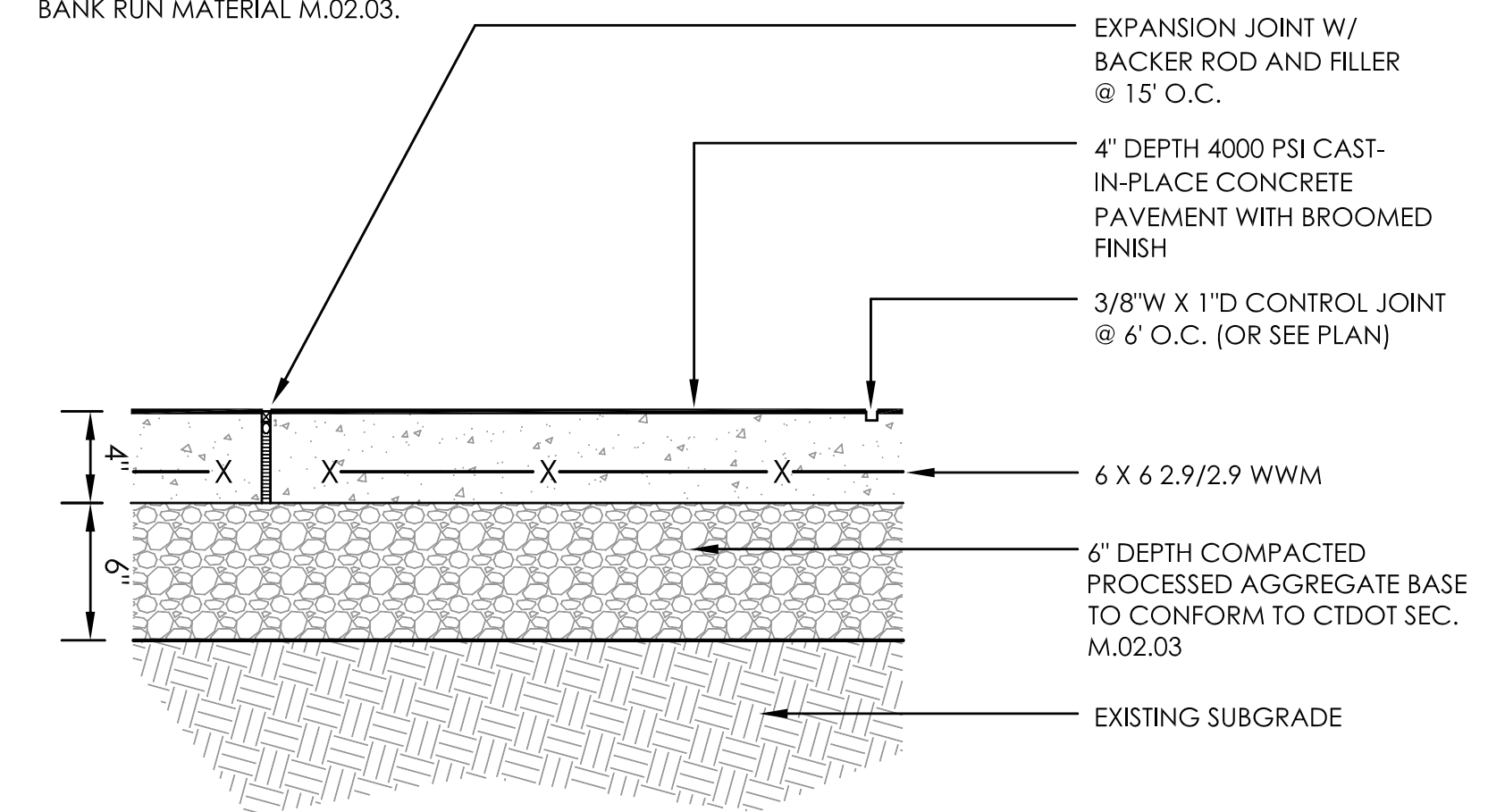
1 BITUMINOUS CONCRETE DRIVEWAY PAVEMENT
C-3.2 NOT TO SCALE

NOTE:
ANY UNSUITABLE MATERIAL DISCOVERED
UNDER PAVEMENT AREAS SHALL BE
REMOVED AND REPLACED WITH COMPACTED
BANK RUN MATERIAL M.02.03.

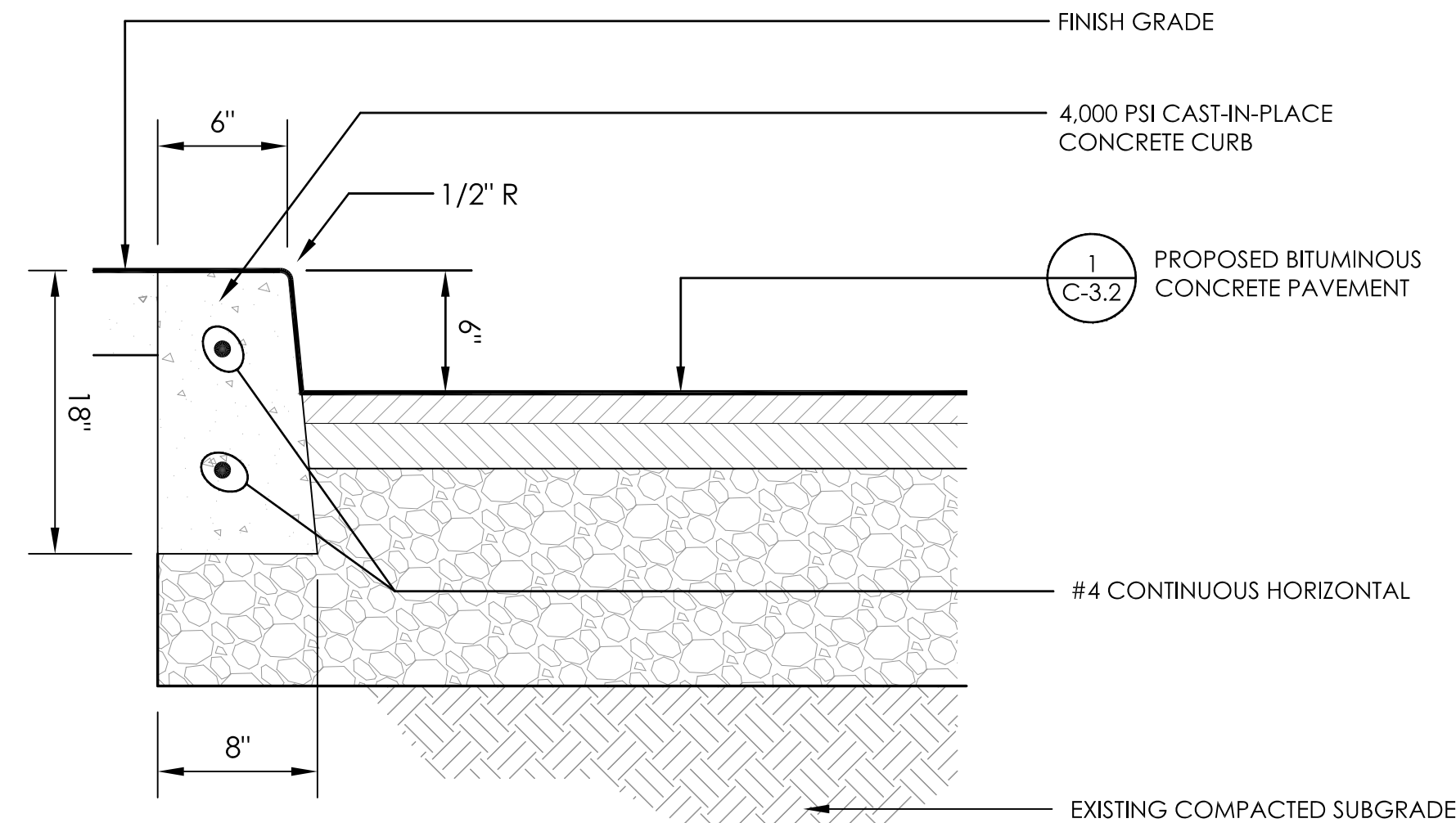


2 BELGIAN BLOCK STONE DRIVEWAY APRON PAVEMENT
C-3.2 NOT TO SCALE

NOTE:
ANY UNSUITABLE MATERIAL DISCOVERED
UNDER PAVEMENT AREAS SHALL BE
REMOVED AND REPLACED WITH COMPACTED
BANK RUN MATERIAL M.02.03.



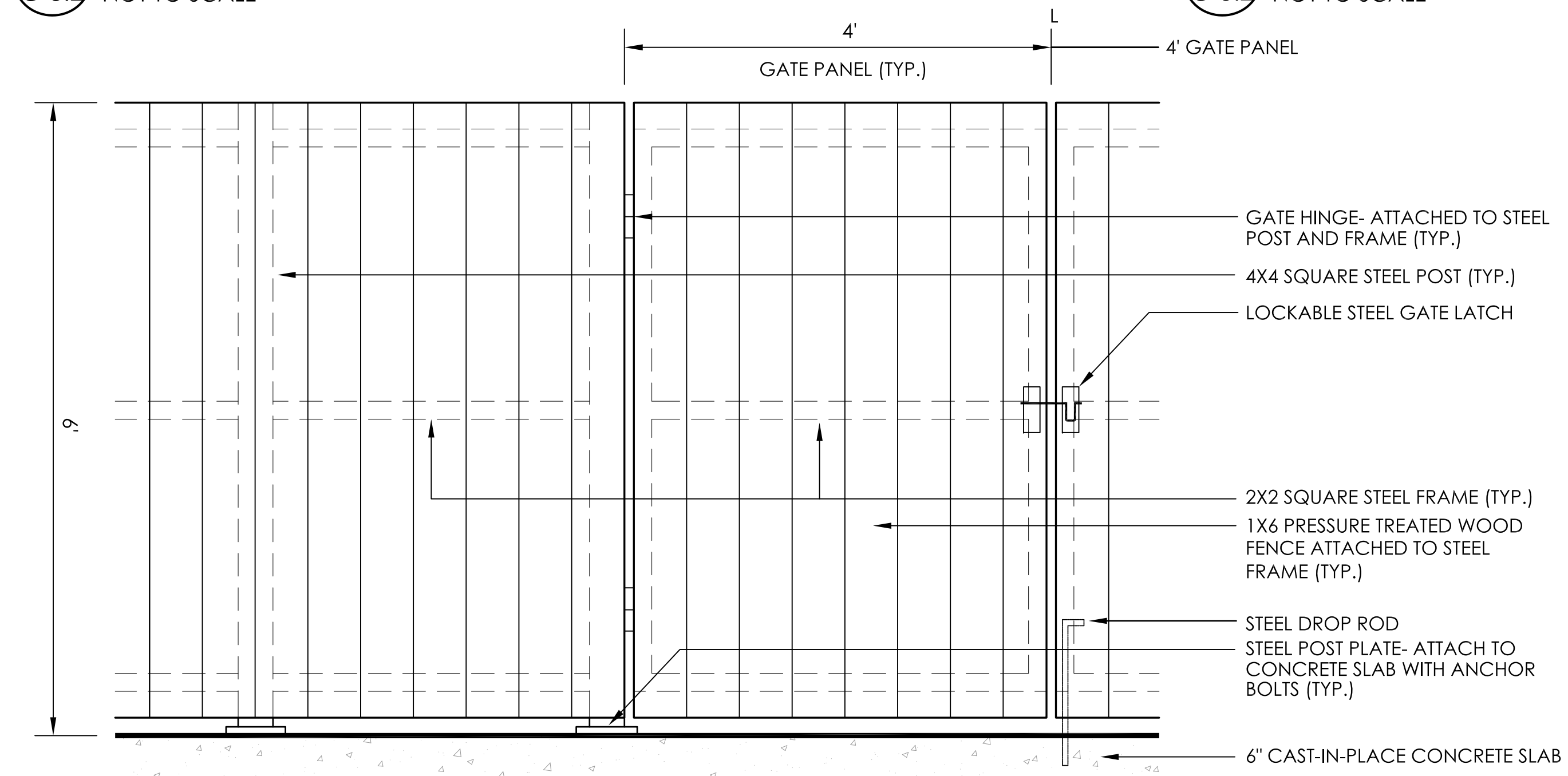
3 CAST-IN-PLACE CONCRETE WALKWAY PAVEMENT
C-3.2 NOT TO SCALE



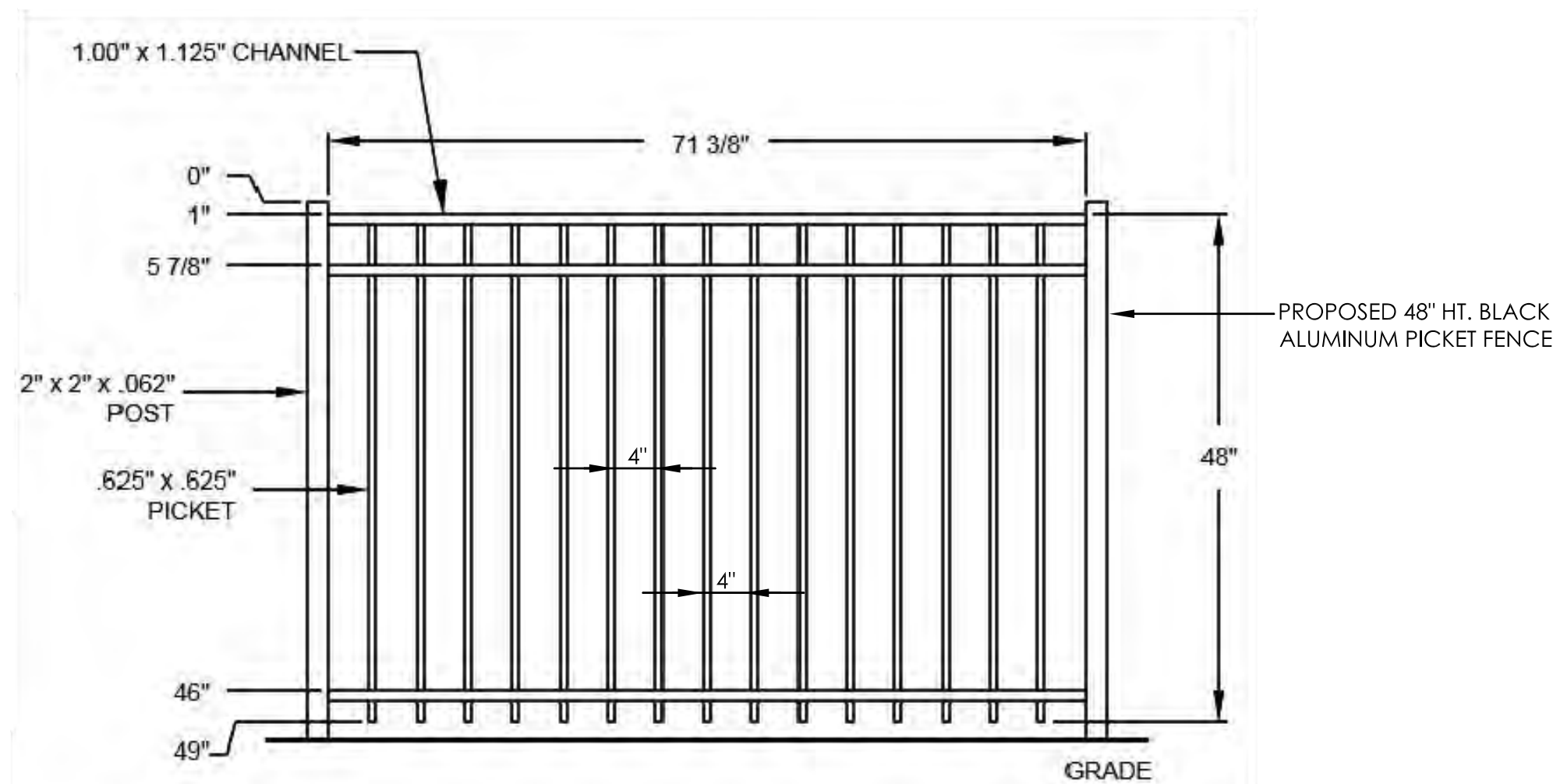
4 CAST-IN-PLACE CONCRETE CURB
C-3.2 NOT TO SCALE



7 BLACK VINYL COATED CHAIN LINK FENCE (IMAGE)
C-3.2 NOT TO SCALE



5 PROPOSED DUMPSTER ENCLOSURE DETAIL
C-3.2 NOT TO SCALE



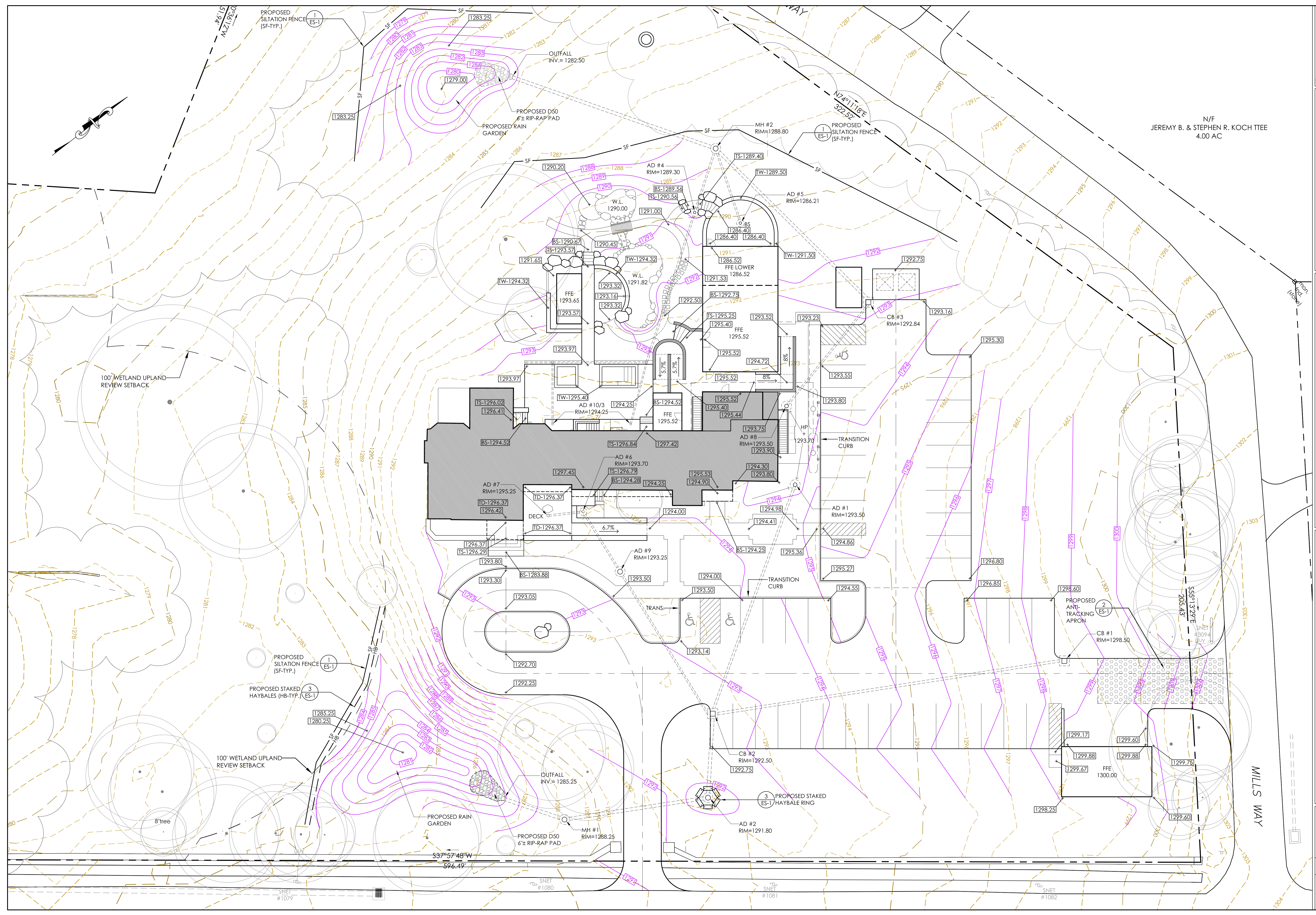
6 PROPOSED METAL PICKET FENCE
C-3.2 NOT TO SCALE

AAEA
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95 Main St., 3rd Fl. East
P.O. Box 7700
Norfolk, CT 06058
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860-824-1401 fax
aet.george@gmail.com

REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE DETAILS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-3.2



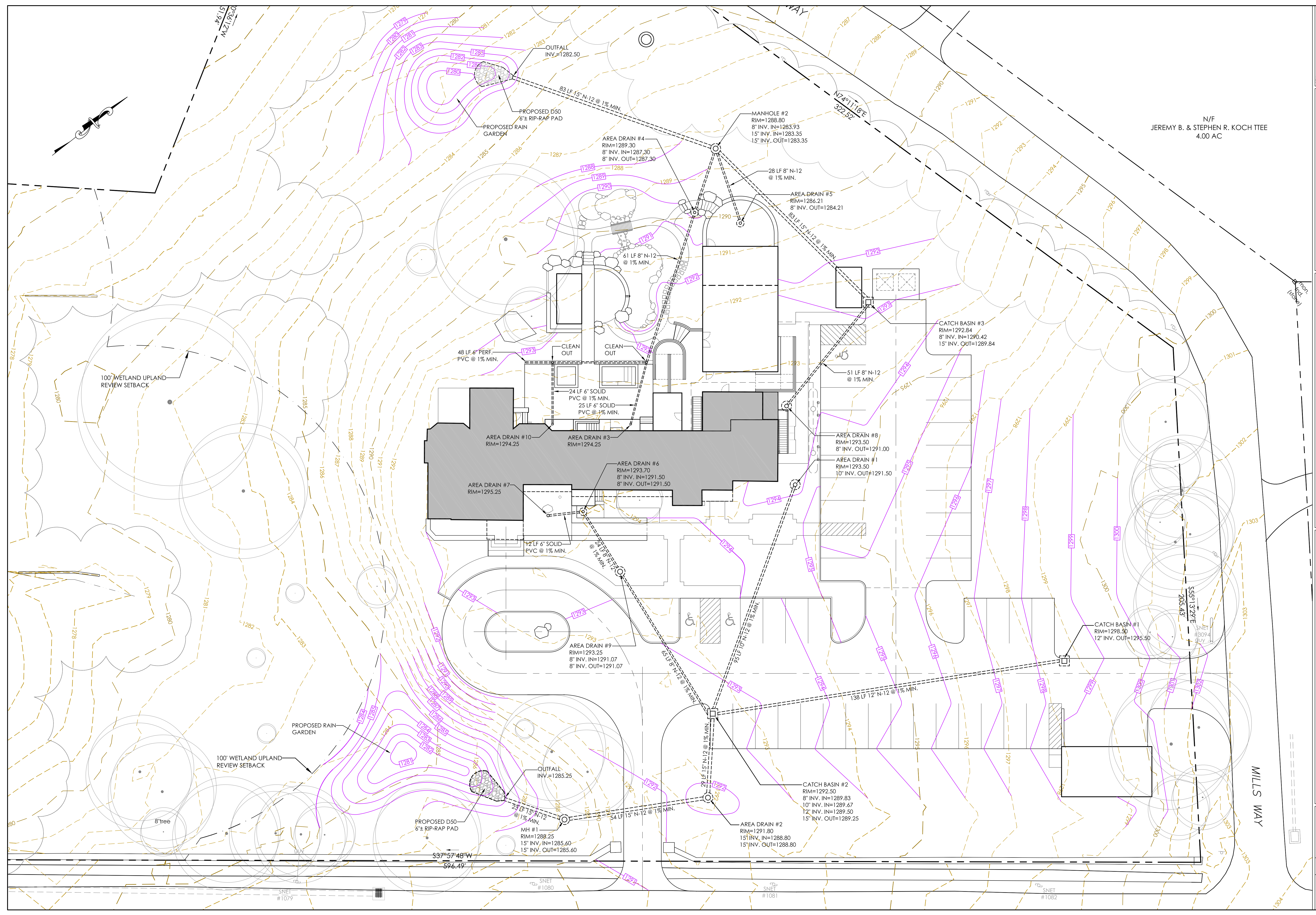
N/F
JEREMY B. & STEPHEN R. KOCH TTEE
4.00 AC

AEA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
P.O. Box 770, Norwalk, CT 06018
860-824-1400 (ext. 140) fax
aei.george@gmail.com

- REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANORS HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE GRADING PLAN
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1" = 16'
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-4



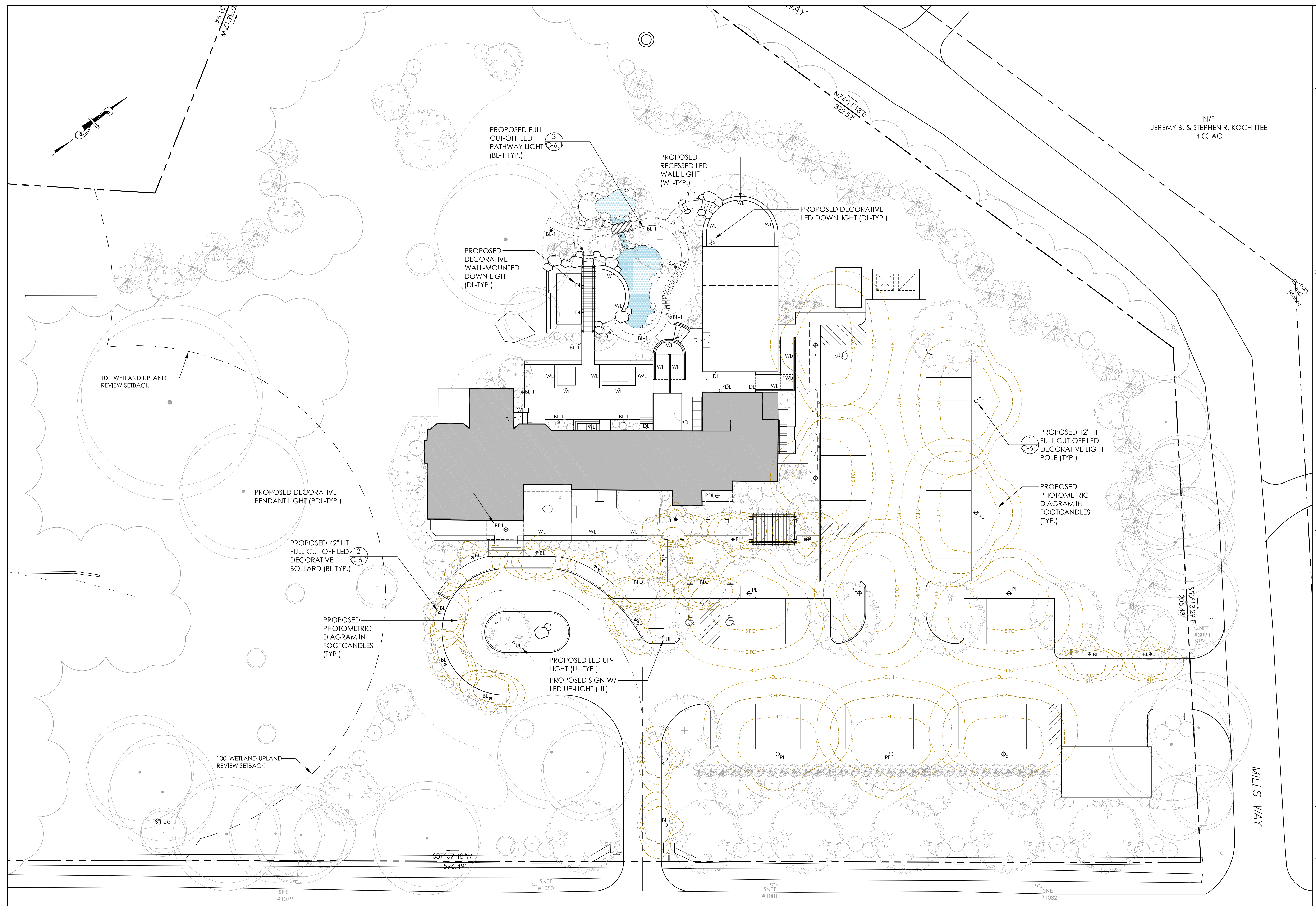
N/F
 JEREMY B. & STEPHEN R. KOCH TTEE
 4.00 AC

AEA
 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl. East
 P.O. Box 7700, Norwalk, CT 06801
 860-824-1400 or 860-824-1401 fax
 aea.george@gmail.com

- REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

**MANOR HOUSE INN PROPERTY IMPROVEMENT
 PROPOSED DRAINAGE PLAN**
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: 1" = 16'
 FILE NAME: 1075-SITE PLAN-3
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-5



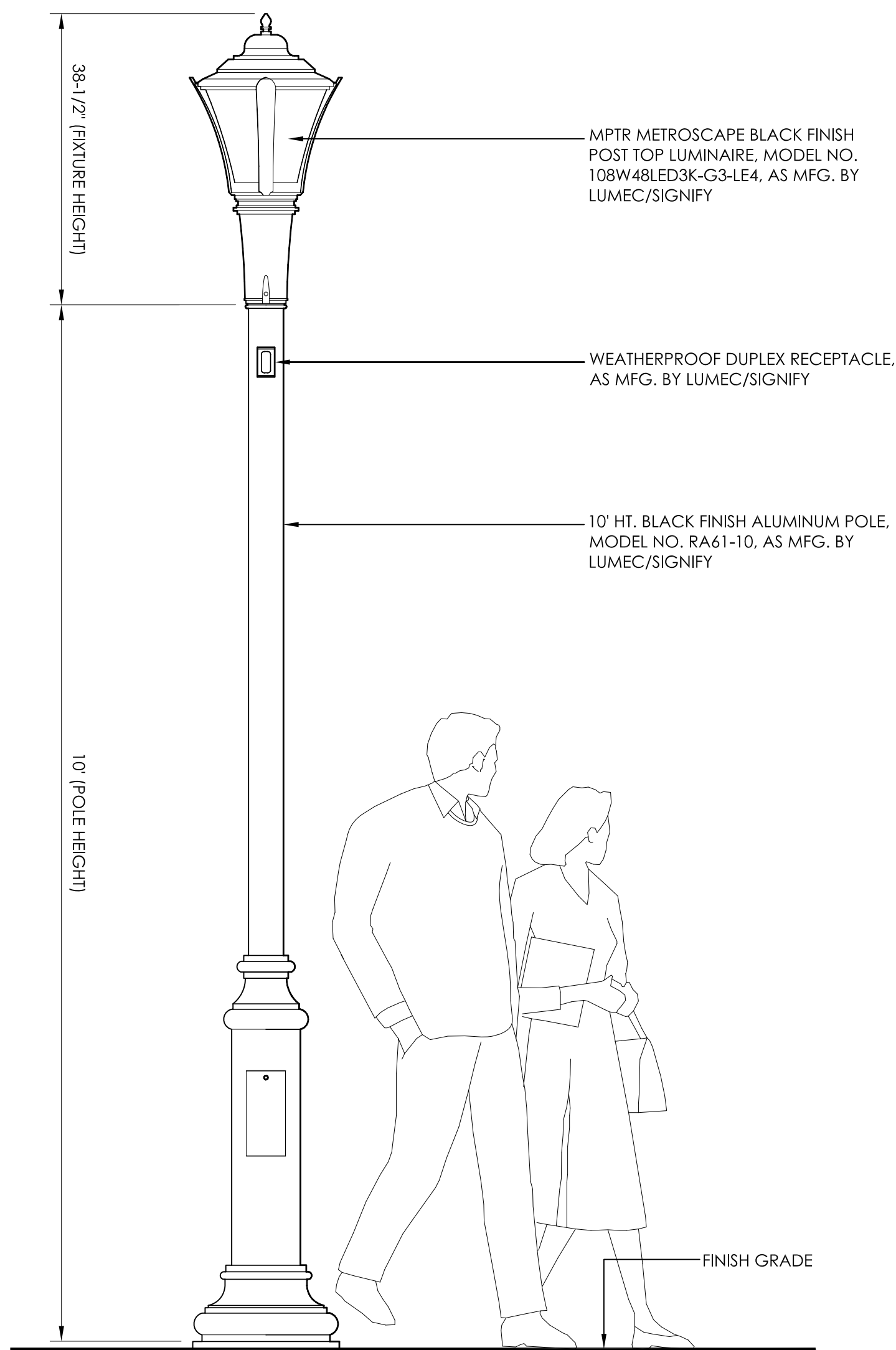
N/F
JEREMY B. & STEPHEN R. KOCH TTEE
4.00 AC

AEFA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl., East
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860-824-1400 860-824-1401 fax
aeaf.assoc@gmail.com

- REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

**MANORS HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE LIGHTING PLAN**
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1"=16'
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-6



MetroScape LED luminaires

The Philips Lumec MetroScape LED pendant and post top luminaires are ideal for enhancing the architectural identity of environments with a heritage appeal. Perfectly scaled in both proportion and performance for the demands of various pedestrian and roadway applications, MetroScape provides a consistent style for your entire lighting project. Substantially more energy-efficient than HID luminaires thanks to industry leading LED technology, MetroScape is the right choice for cities and utilities seeking cost-effective, relamping-free outdoor lighting.

Benefits

- Optimal thermal design with placement of the electronic components in the filter to reduce degradation of light output over the lifespan.
- Complete LED luminaire rated IP66 is protected from the elements and ensure optimal photometric performance.
- Flat lens of the luminaire reduces light pollution with 0% uplight.
- Multiple lumen packages.
- Dedicated LED optics (types 2.1.4 and 5 available).
- Color temperatures 4000K and 3000K are available.
- Dimming driver is standard.
- Maximizes energy savings with multiple driver options and programmed dimming options.
- Includes Service Tag, Philips innovative way to provide assistance throughout the life of the product. For more details visit philips.com/service-tag.

Post top

Dimensions

EPA: 197 sq ft
Weight: 311 lbs (141 kg)

Lumen range: 2,875-13,528
Wattage range: 37-157
Efficacy range: 69-104

MPTR MetroScape post top urban luminaire

Dimensions

20 1/4" (517 mm)
17 1/4" (441 mm)
38 1/2" (978 mm)
28 1/2" (724 mm)

EPA: 197 sq ft
Weight: 311 lbs (141 kg)

Motion Response* (must be ordered as a separate item) Example: ACC-120-MR4PGI-BKTX

Series	Voltage	Motion Response module	Finish
ACC	120	MR4PGI	Single grey
ACC	277	MR4PGI	Double grey
ACC	277	MR4PW1	Single white
ACC	277	MR4PW2	Double white

*OVR option is required for Motion Response Accessory

LED Wattage and Lumen Values for 3000K & 4000K fixtures

Ordering Code	System LEDs	Current (mA)	Average System Watts (W)	LE2			LE3			LE3W			LE4			LE5		
				Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating
MPTR 3000K																		
35W32LED3K-G2	32	350	37	2875	77.7	B1-U0-G1	2895	78.2	B1-U0-G1	2948	79.7	B1-U0-G1	2993	78.2	B1-U0-G1	3107	84.0	B2-U0-G1
55W32LED3K-G2	32	550	56	4124	73.8	B1-U0-G1	4152	74.3	B1-U0-G1	4228	75.6	B1-U0-G1	4149	74.2	B1-U0-G1	4457	79.7	B3-U0-G1
72W32LED3K-G2	32	700	70	5201	74.0	B1-U0-G1	5237	74.5	B1-U0-G1	5333	75.9	B1-U0-G1	5233	74.4	B1-U0-G1	5621	80.0	B3-U0-G1
97W32LED3K-G2	32	1050	104	7172	68.8	B1-U0-G1	7221	69.2	B1-U0-G1	7353	70.5	B1-U0-G1	7216	69.2	B1-U0-G1	7751	74.3	B3-U0-G1
55W48LED3K-G2	48	350	54	4313	79.3	B1-U0-G1	4342	79.8	B1-U0-G1	4422	81.3	B1-U0-G1	4339	79.8	B1-U0-G1	4661	85.7	B3-U0-G1
80W48LED3K-G2	48	530	81	6186	76.1	B1-U0-G1	6229	76.6	B1-U0-G1	6342	78.0	B1-U0-G1	6224	76.6	B1-U0-G1	6686	82.2	B3-U0-G1
108W48LED3K-G2	48	700	105	7802	74.0	B1-U0-G1	7855	74.5	B1-U0-G1	7999	75.9	B1-U0-G1	7850	74.5	B1-U0-G1	8432	80.0	B3-U0-G1
140W48LED3K-G2	48	1050	157	10758	68.7	B1-U0-G1	10832	69.2	B1-U0-G1	10950	70.5	B1-U0-G1	10824	69.2	B1-U0-G1	11627	74.3	B4-U0-G1
70W48LED4K-G2	64	350	73	3750	78.8	B1-U0-G1	3790	79.3	B1-U0-G1	3896	80.8	B1-U0-G1	3785	79.2	B1-U0-G1	4215	85.1	B1-U0-G1
110W48LED4K-G2	64	530	105	5248	78.6	B1-U0-G1	5305	79.1	B1-U0-G1	5457	80.5	B1-U0-G1	5299	79.0	B1-U0-G1	5814	84.9	B3-U0-G1
90W80LED4K-G2	80	350	91	7388	79.3	B1-U0-G1	7437	79.8	B1-U0-G1	7570	81.3	B1-U0-G1	7432	79.7	B1-U0-G1	7768	85.6	B3-U0-G1
135W80LED4K-G2	80	530	136	10330	76.1	B1-U0-G1	10381	76.6	B1-U0-G1	10571	78.0	B1-U0-G1	10373	76.6	B1-U0-G1	11143	82.2	B4-U0-G1
MPTR 4000K																		
35W32LED4K-G2	32	350	37	3462	93.6	B1-U0-G1	3624	97.9	B1-U0-G1	3610	97.6	B1-U0-G1	3650	98.6	B1-U0-G1	3695	99.9	B1-U0-G1
55W32LED4K-G2	32	530	56	4966	88.8	B1-U0-G1	5198	93.0	B1-U0-G1	5178	92.6	B1-U0-G1	5235	93.6	B1-U0-G1	5300	94.8	B1-U0-G1
72W32LED4K-G2	32	700	70	6263	89.1	B1-U0-G1	6536	93.3	B1-U0-G1	6531	92.9	B1-U0-G1	6603	93.9	B1-U0-G1	6684	95.1	B3-U0-G1
97W32LED4K-G2	32	1050	104	8636	82.8	B1-U0-G1	9040	86.7	B1-U0-G1	9005	86.3	B1-U0-G1	9105	87.3	B1-U0-G1	9217	88.4	B4-U0-G1
55W48LED4K-G2	48	350	54	5255	96.6	B1-U0-G1	5349	98.3	B1-U0-G1	5422	99.7	B1-U0-G1	5362	98.6	B1-U0-G1	5659	104.0	B1-U0-G1
80W48LED4K-G2	48	530	81	7538	92.7	B1-U0-G1	7873	94.4	B1-U0-G1	7777	95.7	B1-U0-G1	7891	94.6	B1-U0-G1	8177	99.8	B3-U0-G1
108W48LED4K-G2	48	700	105	9507	90.2	B1-U0-G1	9677	91.8	B1-U0-G1	9808	93.1	B1-U0-G1	9700	92.0	B1-U0-G1	10237	97.1	B4-U0-G1
140W48LED4K-G2	48	1050	157	13109	83.8	B1-U0-G1	13344	85.3	B1-U0-G1	13525	86.4	B1-U0-G1	13376	85.5	B1-U0-G1	14116	90.2	B4-U0-G1
70W48LED4K-G2	64	350	73	4007	96.0	B1-U0-G1	4132	97.7	B1-U0-G1	4129	97.6	B1-U0-G1	4180	97.9	B1-U0-G1	4245	98.8	B1-U0-G1
110W48LED4K-G2	64	530	105	10050	95.7	B1-U0-G1	10231	97.4	B1-U0-G1	10369	98.8	B1-U0-G1	10255	97.7	B1-U0-G1	10822	103.1	B4-U0-G1
90W80LED4K-G2	80	350	91	8759	96.6	B1-U0-G1	8916	98.3	B1-U0-G1	9036	99.6	B1-U0-G1	8937	98.5	B1-U0-G1	9431	104.0	B4-U0-G1
135W80LED4K-G2	80	530	136	12563	92.7	B1-U0-G1	12788	94.4	B1-U0-G1	12962	95.7	B1-U0-G1	12819	94.6	B1-U0-G1	13528	99.8	B4-U0-G1

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt deposition, light loss factor, etc. Highly recommended to confirm performance with a layout - contact Applications at signify.com/outdoorluminaires. Note: Some data may be scaled based on tests of similar, but not identical, luminaires.

1 POLE-MOUNTED LED FULL CUT-OFF LIGHT FIXTURE (PL)
C-6.1 NOT TO SCALE

Bollard PBL

Intelligent optical design

IES Type 3 and 5 distributions allow for excellent uniformity and optimal spacing. High performance optical system designed to achieve wide spacing and full cutoff performance.

Rugged construction

Cast aluminum housing secured with flush, tamper-resistant stainless steel fasteners. Optics are fully sealed and gasketed, rated IP66.

Emergency battery backup

Optional emergency battery back up is integral to the luminaire.

Multiple height options

Available in 36", 42" or 60" to achieve desired performance or aesthetics.

Multiple finish options

Black, white, bronze, dark gray and medium gray textured finish options available, see p. 29.

Optional integral motion sensor

Integral to the luminaire. Offers energy savings and can enhance sense of security.

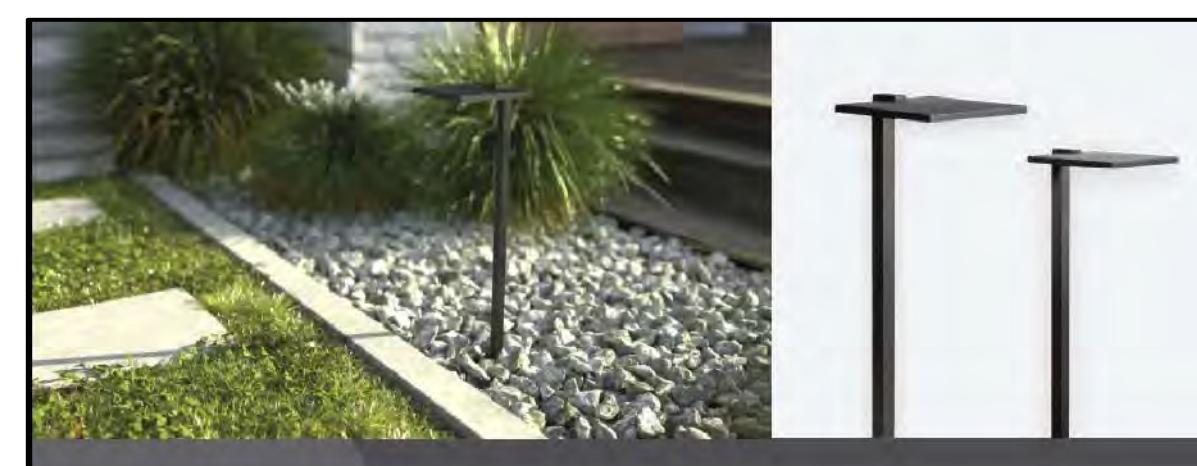
Height options: 36" 42" 60"
Lumen output: 500-4,200 lumens
Efficacy: 72-100 LPW
Color temperature: Amber, 2700K, 3000K, 3500K, 4000K, 5000K
Optical distributions: Type 3, 5
Emergency: Optional emergency battery backup

Prior to ordering, consult specification sheets on lightingproducts.signify.com for the most current information, notes, and exclusions.

Weight: 36" - 16 lbs (7.5 kg)
42" - 18 lbs (8.2 kg)
60" - 22 lbs (9.9 kg)

9" dia (23.8 cm)
4" dia (11.4 cm)
36"/42"/60" (91.3 cm/106.6 cm/152.3 cm)
22" (55.9 cm)

2 42" HT. LED FULL CUT-OFF BOLLARD LIGHT FIXTURE (BL)
C-6.2 NOT TO SCALE



12V Integrated LED Shallow Shade Path Lights

New design and technology.

Redesigned and reimaged, our new shallow shade path lights offer an integrated LED light source and streamlined design. Fully sealed to safeguard from water ingress and outdoor elements, these path lights are certified through an independent 3rd-party lab - continuing to deliver the quality, reliability, and style you've come to appreciate from Kichler.

12V integrated LED shallow shade path lights are designed to deliver the quality, reliability, and style we're known for.

- BKT** Contemporary design to blend in seamlessly with nature while spotlighting the surrounding style. Sleek and minimal, it's the perfect look for nearly all applications.
- IP66** Versatile IP66 rated design provides a dust and watertight housing that can occur in coastal areas with strong winds or applications close to water.
- UL** Fully sealed to safeguard from water ingress and outdoor elements - helping to extend the life of the product.
- UL** 2,000-volt system surge protection protects against power surges and regulates when paired with one of our transformers.

KICHLER

PRODUCT ORDERING GUIDE

Ordering Guide (product number breakdown)

1. Item Number for Fixture & Beam Angle:
1619 - Small Shallow Shade
1617 - Large Shallow Shade

2. Product Finish:
BKT - Textured Black

3. Color Temperature:
30 - 3000K, Pure White
3000 - Pure White
3000K - Pure White

Example: 1619 BKT 30

Fixture	Item Number	Color Temperature
6" Shade	1619BKT27	2700K - Warm White
6" Shade	1619BKT30	3000K - Pure White
6" Shade	1619BKT3000	3000K - Pure White
6" Shade	1619BKT27	2700K - Warm White
6" Shade	1619BKT30	3000K - Pure White

PRODUCT CONSTRUCTION

Ribbed gasket
LED light board
Polycarbonate lens
Solid aluminum construction

PHOTOMETRICS

1619 - Small Shallow Shade

Foot-candle (FC)	Distance from Light								
	0'	1ft.	2ft.	3ft.	4ft.	5ft.	6ft.	7ft.	8ft.
1.0	1.8	0.45	0.23	0.15	0.10	0.07	0.05	0.04	0.03

1619 - Large Shallow Shade

Foot-candle (FC)	Distance from Light								
	0'	1ft.	2ft.	3ft.	4ft.	5ft.	6ft.	7ft.	8ft.
1.0	0.45	0.23	0.15	0.10	0.07	0.05	0.04	0.03	0.02

Fully sealed and houses all electrical components inside the shade to prevent water ingestion.

- A thick, ribbed gasket creates a seal around the outside circumference of the electronics and screws are used in the polycarbonate lens to ensure even seal to lens pressure.
- Crafted with solid cast aluminum construction for a robust stem-to-stem connection.

3 24" HT. LED FULL CUT-OFF PATHWAY LIGHT FIXTURE (BL-1)
C-6.2 NOT TO SCALE

LED Shallow Shade Path Lights

Additional Specs

DIMENSIONS

1619 - Small Shallow Shade
1617 - Large Shallow Shade

PERFORMANCE

	1619 - Small	1617 - Large
Fixture Lumen Output	2700K: 180m 3000K: 180m	2700K: 180m 3000K: 180m
Input Voltage	9V-30V	9V-30V
Power (VA) @ 12V AC	5.9VA	5.9VA
Power (W) @ 12V AC	2W	2W
Efficacy (lm/W @ DC)	2700K: 94 lm/w 3000K: 94 lm/w	2700K: 94 lm/w 3000K: 94 lm/w

FINISH OPTIONS

BKT - Textured Black

FIXTURE

Body: Cast Aluminum, Textured Powder Coat finish (BKT)

Wipe: 30° of usability @ 90-120° SPT-1W leads

Included Accessories

8" slotted ground stake, gel-filled wire nuts
Required: Landscape Transformer, 12 gauge wire

Optional Accessories

1660BKT - Surface Mounting Flange
1660BKT - Surface Mounting Bracket
1576 - 1/4" Stake
1528 - Power Post

LOAD CHART

Power (VA)	10 AWG	12 AWG	14 AWG	16 AWG
0-20 VA	80/152m	115/121m	170/123m	450/137m
40 VA	83/123m	118/117m	170/118m	230/120m
60 VA	82/119m	117/119m	167/121m	150/144m
80 VA	470/143m	280/168m	180/155m	110/134m
100 VA	170/113m	230/170m	140/140m	90/127m

MECHANICAL & HOUSING SPECIFICATION

Length/Width/Height: 16196: 6" W x 6.5" D x 24" H
16197: 6" W x 8.5" D x 24" H
Weight: 16196: Aluminum: 1.6 lbs
16197: Aluminum: 2.2 lbs

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE LIGHTING DETAILS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: NOT TO SCALE
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO: 1075
DRAWING NO: C-6.1

AEA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
P.O. Box 7700
860-824-1400
860-824-1401 fax
aei@alliedeng.com

REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

PLANT SCHEDULE (REFER TO C-7)

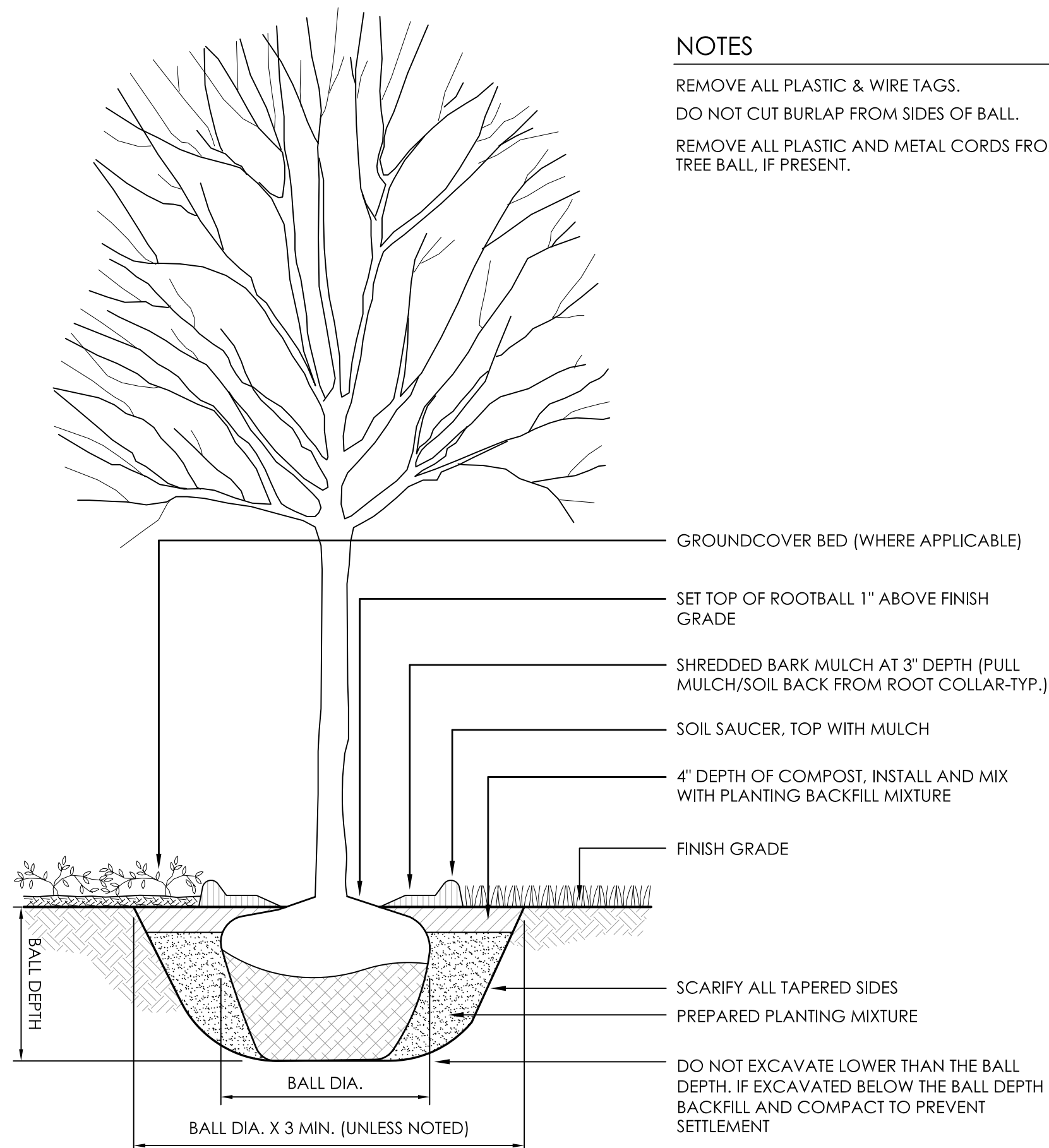
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	CT NATIVE/DESCRIPTION
DECIDUOUS TREES							
AF	6	ACER x FRREMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	3'-3 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	YES / CROSS POLLINATION OF RED & SILVER MAPLE
AS	2	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3'-3 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	3'-3 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
NS	1	NYSSA SYLVATICA	BLACK GUM	2 1/2'-3' CALIPER	B&B	FULL AND EXTRA HEAVY; STRAIGHT LEADER	YES
QC	4	QUERCUS COCCINEA	SCARLET OAK	3'-3 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
SA	2	SALIX ALBA 'NIOBE'	GOLDEN WEeping WILLOW	3'-3 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO EUROPE; NURSERY GROWN ORNAMENTAL IN CT
FLOWERING TREES							
CC	5	CERCIS CANADENSIS	EASTERN REDBUD	2'-2 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
CF	4	CORNUS FLORIDA 'CHEROKEE BRAVE'	CHEROKEE BRAVE FLOWERING DOGWOOD	2'-2 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING	YES / NURSERY CULTIVAR OF NATIVE FLOWERING DOGWOOD
CV	1	CHIONANTHUS VIRGINICUS	FRINGE TREE	2'-2 1/2' CALIPER	B&B	FULL AND EXTRA HEAVY	YES
M5	1	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	6'-7' HT.	B&B	FULL AND EXTRA HEAVY; SPECIMEN	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
MV	1	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	8'-10' HT.	B&B	FULL AND EXTRA HEAVY	YES
SA-1	2	SORBUS AMERICANA	AMERICAN MOUNTAIN ASH	6'-7' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
SJ	3	STYRAX JAPONICUS	JAPANESE SNOWBELL	8'-10' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; MULT-STEM	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
SR	4	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE TREE LILAC	8'-10' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; MULT-STEM	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
EVERGREEN TREES							
AC	10	ABIES CONCOLOR	WHITE FIR	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.	NO / NATIVE TO WESTERN NORTH AMERICA; NURSERY GROWN IN CT
PA	9	PICEA ABIES	NORWAY SPRUCE	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.	NO / NATIVE TO EUROPE; NURSERY GROWN IN CT
PP	6	PICEA PUNGENS	COLORADO SPRUCE	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.	NO / NATIVE TO CENTRAL NORTH AMERICA; NURSERY GROWN IN CT
TC	8	TSUGA CANADENSIS	EASTERN HEMLOCK	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.	YES
TO	35	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-7' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES / NURSERY CULTIVAR OF NATIVE ARBORVITAE
SHRUBS							
AC-1	6	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	5'-6' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
AD	9	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	18"-24" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
AP	5	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	5'-6' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO EASTERN US; NURSERY GROWN IN CT
AT	11	AZALEA 'TRADITION'	TRADITION PINK AZALEA	18"-24" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
CA	5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	18"-24" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING	YES
CF-1	3	CALYCANTHUS FLORIDUS	CAROLINA ALLSPICE	24"-30" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
CR	5	COTINUS COGGYGRIA 'ROYAL PURPLE'	ROYAL PURPLE SMOKETREE	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO EUROPE; INTRODUCED, NURSERY GROWN IN CT
HL	3	HIBISCUS SYRIACUS 'LUCY'	LUCY ROSE OF SHARON	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; INTRODUCED, NURSERY GROWN IN CT
HP	18	HYDRANGEA PANICULATA 'PHANTOM'	PHANTOM HYDRANGEA	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; INTRODUCED, NURSERY GROWN IN CT
HP-1	16	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	14"-18" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING; HEDGE	NO / NATIVE TO ASIA; INTRODUCED, NURSERY GROWN IN CT
IG	18	ILEX GLABRA 'GEM BOX'	GEM BOX INKBERRY	12"-14" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING; HEDGE	YES / NURSERY CULTIVAR OF NATIVE INKBERRY
KL	8	KALMIA LATIFOLIA	MOUNTAIN LAUREL	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
PO	3	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	SUMMER WINE NINEBARK	24"-30" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING	YES / NURSERY CULTIVAR OF NATIVE COMMON NINEBARK
RB	3	RHODODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHODODENDRON	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NURSERY CULTIVAR OF RHODODENDRON CAUCASICUM
RC	5	RHODODENDRON 'CHIONOIDES'	CHIONOIDES RHODODENDRON	24"-30" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING	NO / NURSERY CULTIVAR OF RHODODENDRON PONTICUM
RE	6	RHODODENDRON 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NURSERY CULTIVAR OF RHODODENDRON CATAWBIENSE
RP	2	RHODODENDRON PERICLYMENOIDES	PINXTERBLOOM AZALEA	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
SP	14	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	4'-5' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
VC	2	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	24"-30" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT
VD	2	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	YES
WF	3	WEIGELA FLORIDA 'WINE AND ROSE'	WINE AND ROSE WEIGELA	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING	NO / NATIVE TO ASIA; NURSERY GROWN ORNAMENTAL IN CT

RAIN GARDEN PLANT MATERIAL

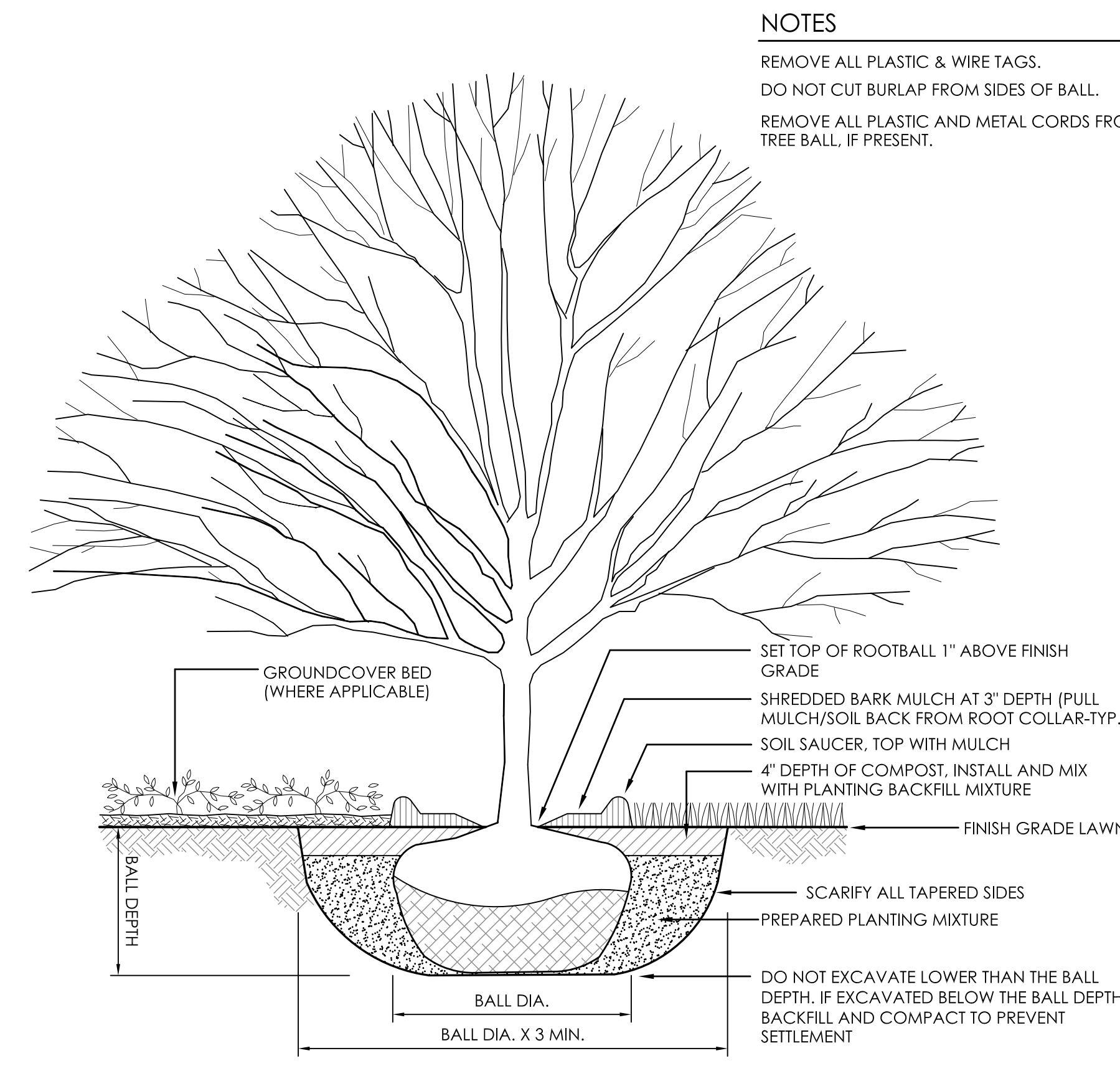
BOTANICAL NAME	COMMON NAME	CT NATIVE/DESCRIPTION
BASIN BOTTOM ZONE		
IRIS VERSICOLOR	BLUE FLAG IRIS	YES
MIMULUS RINGENS	MONKEY FLOWER	YES
VERBENA HASTATA	SWAMP VERBENA	YES
LOBELIA CARDINALIS	CARDINAL FLOWER	YES
MIDDLE SLOPE ZONE		
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	YES
EUTROCHUM PURPUREUM	JOE PYE WEED	YES
LIATRIS SPICATA	BLAZING STAR	YES
UPPER EDGE ZONE		
PHYSOCARPUS OPULIFOLIUS	SUMMER WINE NINEBARK	YES
SALIX PURPUREA 'NANA'	PURPLE-LEAVED WILLOW	NO / INTRODUCED NURSERY GROWN IN CT
ITEA VIRGINICA	VIRGINIA SWEETSPIRE	NO / NATIVE TO EASTERN US; NURSERY GROWN IN CT
GROUND COVER LAYER		
GERANIUM MACULATUM	WILD GERANIUM	YES
TIARELLA CORDIFOLIA 'SPRING SYMPHONY'	FOAM FLOWER	YES
PHLOX STOLONIFERA	CREeping PHLOX	YES
ASARUM CANADENSE	WILD GINGER	YES
VIOLA SORORIA	VIOLETS	YES

PLANTING NOTES

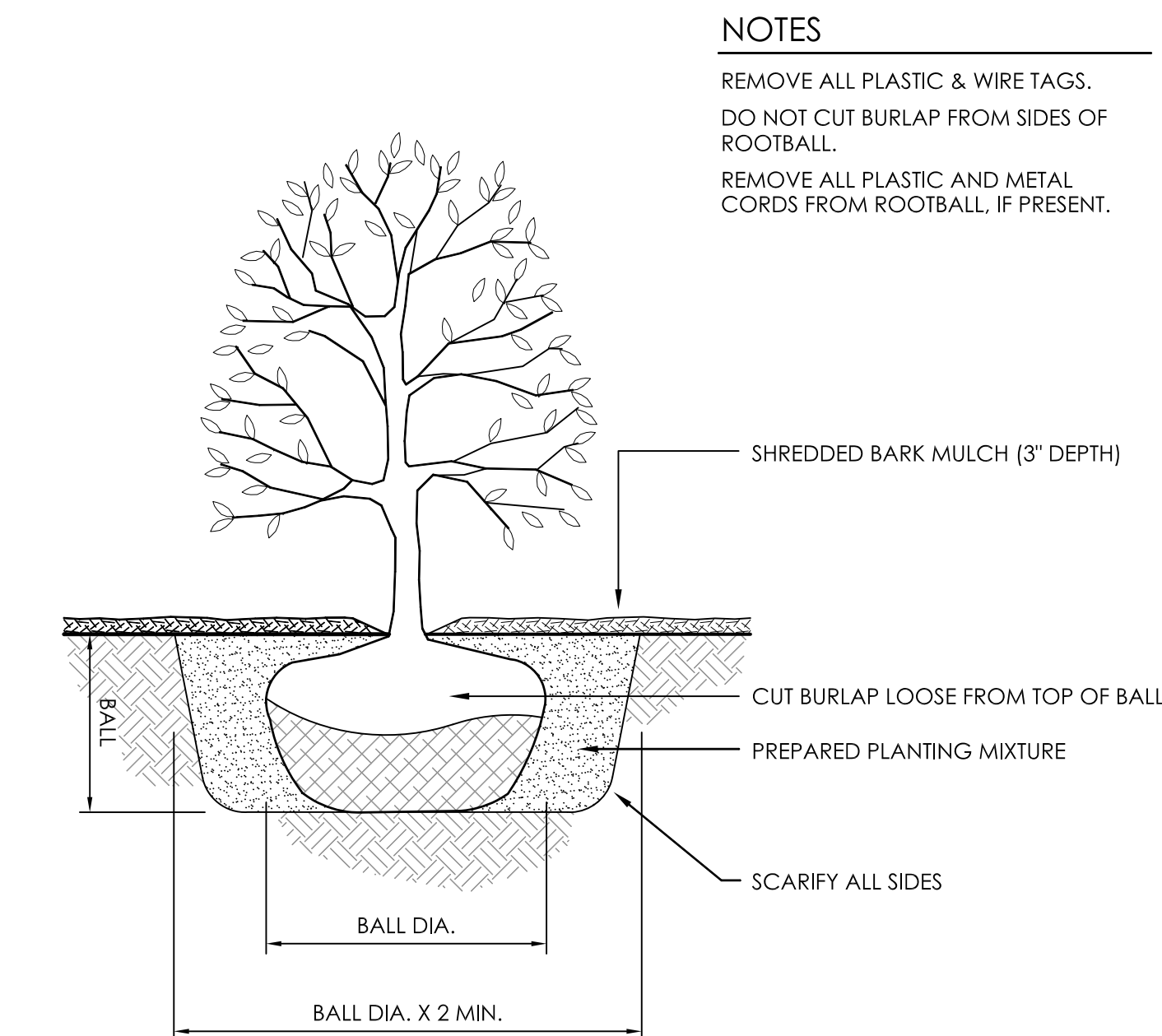
- ALL PLANT MATERIAL MUST CONFORM TO THE REQUIREMENTS OF THE PLANTING SCHEDULE AND STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL MUST BE APPROVED AT THE NURSERY SOURCE BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PROTECT ALL EXISTING VEGETATION ADJACENT TO CONSTRUCTION OPERATIONS. CARE SHOULD BE TAKEN TO ENSURE THAT SOIL CONTAINING TREE ROOTS IS NOT COMPACTED.
- REFER TO SHEET C-7 FOR PLANTING PLAN.
- ALL PLANTS SPECIFIED ARE NON-INVASIVE AND GROW IN CONNECTICUT.



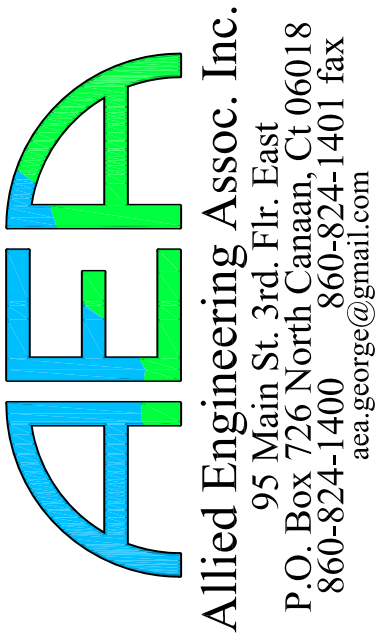
1 PROPOSED DECIDUOUS TREE PLANTING
 C-7.1 NOT TO SCALE



2 PROPOSED FLOWERING TREE PLANTING
 C-7.1 NOT TO SCALE



3 PROPOSED DECIDUOUS TREE PLANTING
 C-7.1 NOT TO SCALE



REVISIONS - DESCRIPTION - DATE - INITIAL
 1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
 PROPOSED PLANT SCHEDULE & DETAILS
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: AS NOTED
 FILE NAME: 1075-SITE PLAN-3
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-7.1

PROPOSED DECIDUOUS TREES



AF-ACER x FREEMANII 'JEFFERSRED'
(AUTUMN BLAZE MAPLE)



AS-ACER SACCHARUM 'GREEN MOUNTAIN' (GREEN MOUNTAIN SUGAR MAPLE)



BN-BETULA NIGRA 'HERITAGE'
(HERITAGE RIVER BIRCH)

PROPOSED FLOWERING TREES



CC-CERCIS CANADENSIS
(EASTERN REDBUD)



CF-CORNUS FLORIDA 'CHEROKEE BRAVE'
(CHEROKEE BRAVE FLOWERING DOGWOOD)



CV-CHIONATHUS VIRGINICUS
(FRINGE TREE)



SA-SALIX ALBA 'NIOBE'
(GOLDEN WEEPING WILLOW)



QC-QUERCUS COCCINEA
(SCARLET OAK)



NS-NYSSA SYLVATICA
(BLACK GUM)



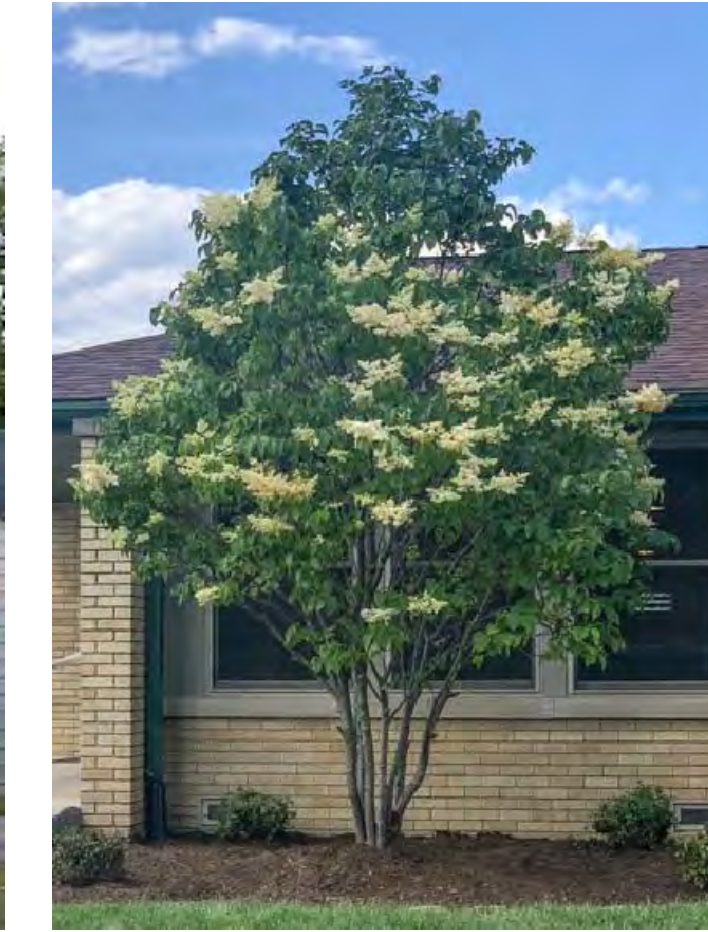
MS-MAGNOLIA STELLATA 'ROYAL STAR'
(ROYAL STAR MAGNOLIA)



MV-MAGNOLIA VIRGINIANA
(SWEETBAY MAGNOLIA)



SA-SORBUS AMERICANA
(AMERICAN MOUNTAIN ASH)



SR-SYRINGA RETICULATA 'IVORY SILK'
(JAPANESE TREE LILAC)

PROPOSED EVERGREENS



AC-ABIES CONCOLOR
(WHITE FIR)



PA-PICEA ABIES
(NORWAY SPRUCE)



TC-TSUGA CANADENSIS
(EASTERN HEMLOCK)



PP-PICEA PUNGENS
(COLORADO SPRUCE)

PROPOSED SHRUBS



AD-AZALEA 'DELAWARE VALLEY WHITE'
(DELAWARE VALLEY WHITE AZALEA)



AT-AZALEA 'TRADITION'
(TRADITION PINK AZALEA)



AP-AESCULUS PARVIFLORA
(BOTTLEBRUSH BUCKEYE)



CA-CLETHRA ALNIFOLIA 'HUMMINGBIRD'
(SUMMERSWEET)



CF1-CALYCANTHUS FLORIDUS
(CAROLINA ALLSPICE)



CR-COTINUS COGGYGRIA 'ROYAL PURPLE'
(ROYAL PURPLE SMOKETREE)



HL-HIBISCUS SYRIACUS 'LUCY'
(LUCY ROSE OF SHARON)



HP-HYDRANGEA PANICULATA 'PHANTOM'
(PHANTOM HYDRANGEA)



HP1-HYDRANGEA PANICULATA 'BOBO'
(BOBO DWARF HYDRANGEA)



IG-ILEX GLABRA 'GEM BOX'
(GEM BOX DWARF INKBERRY)



KL-KALMIA LATIFOLIA
(MOUNTAIN LAUREL)



PO-PHYSCARPUS OPULIFOLIUS
(SUMMER WINE NINEBARK)



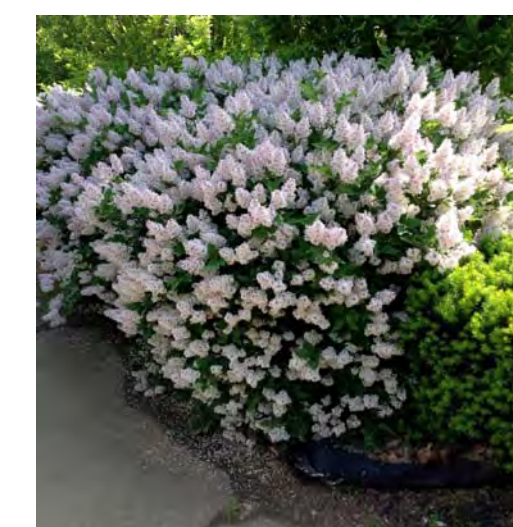
RB-RHODENDRON 'BOULE DE NEIGE'
(BOULE DE NEIGE RHODENDRON)



RE-RHODENDRON 'ENGLISH ROSEUM'
(ENGLISH ROSEUM RHODENDRON)



RP-RHODENDRON PERICLYMENOIDES
(PINXTERBLOOM AZALEA)



SP-SYRINGA PATULA 'MISS KIM'
(MISS KIM LILAC)



VC-VIBURNUM CARLESII
(KOREAN SPICE VIBURNUM)



VD-VIBURNUM DENTATUM
(ARROWWOOD VIBURNUM)



TO-THUJA OCCIDENTALIS 'SMARAGD'
(EMERALD GREEN ARBORVITAE)



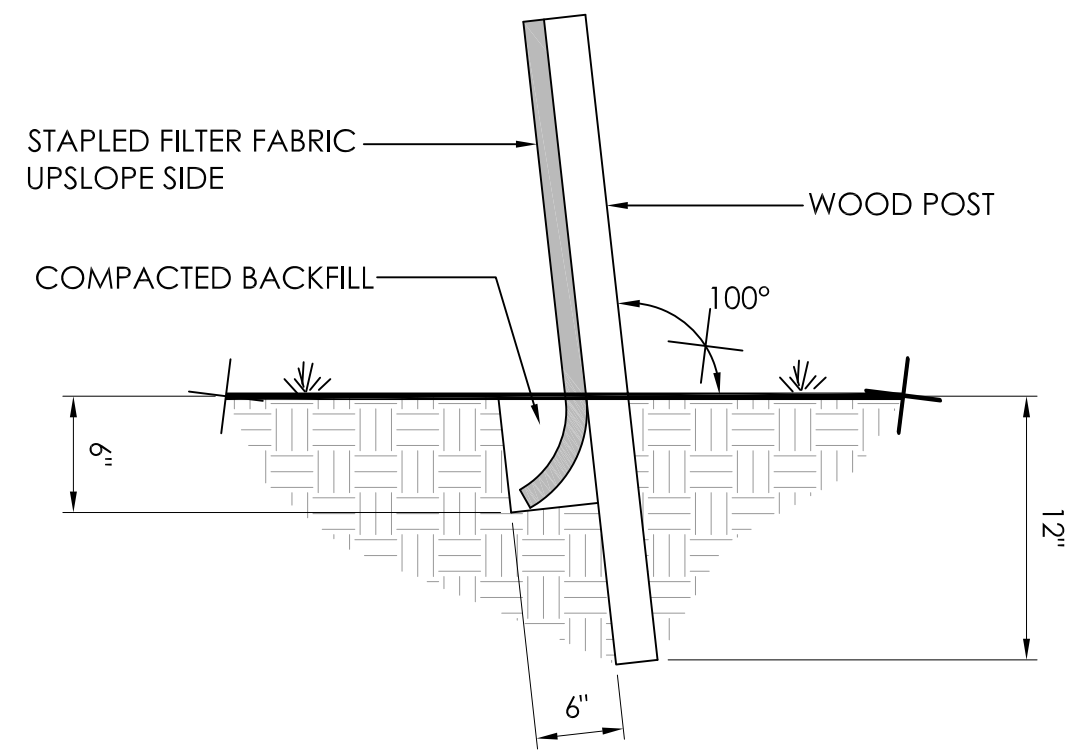
WF-WEIGELA FLORIDA 'WINE AND ROSE'
(WINE AND ROSE WEIGELA)

AEFA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
7700 North County Rd. CT 06018
P.O. Box 1400 North County Rd.
860-824-1400 860-824-1401 fax
aef.a@gmail.com

- REVISIONS - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

**MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED PLANT IMAGES**
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: NOT TO SCALE
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-7.2



- EXCAVATE 6"X6" TRENCH ON THE UPSLOPE SIDE OF THE FENCE LOCATION.
- DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST 12" INTO ORIGINAL GROUND.
- ANGLE POSTS 10 DEGREES UPHILL TO OVER COMPENSATE FOR ANY SAGGING IN FENCE DUE TO PRESSURE FROM BUILT UP SEDIMENT.
- STAPLE OR SECURE GEOTEXTILE TO THE POSTS PER MANUFACTURERS RECOMMENDATIONS SUCH THAT 6" OF FABRIC LIES IN THE TRENCH.
- BACKFILL THE TRENCH WITH THE EXCAVATED TRENCH MATERIAL OVER THE FABRIC. TAMP TO COMPACT THE SOIL.

1 TYPICAL SILT FENCE DETAIL
ES-1 NOT TO SCALE

GENERAL NOTES/SPECIFICATIONS

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE ALL WORK OUTLINED.
- ALL WORK SHALL BE DONE FOLLOWING THE LAWS, REGULATIONS, STANDARDS AND REQUIREMENTS ESTABLISHED BY THE STATE OF CONNECTICUT AND TOWN OF NORFOLK.
- ALL EXISTING SITE FEATURES SHALL REMAIN AS IS UNLESS NOTED ON DRAWINGS.
- STATE LAW REQUIRES: CALL BEFORE YOU DIG 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK. ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER. NO CHANGES TO THE PROPOSED CONSTRUCTION CAN BE MADE WITHOUT PRIOR APPROVAL.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL METHODS DEEMED NECESSARY BY THE TOWN OF NORFOLK STAFF SHALL BE IMPLEMENTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY EXISTING CONDITION WHICH IS DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ANY REFUSE OR DEBRIS MUST BE CLEANED UP DAILY AND DISPOSED OF PROPERLY AT THE CONTRACTORS EXPENSE.

CONSTRUCTION SEQUENCE:

- OBTAIN ALL NECESSARY PERMITS.
- CONTACT CALL-BEFORE-YOU-DIG (1-800-922-4455) TO MARK OUT LOCATION OF ALL EXISTING UTILITIES ON AND ADJACENT TO SITE.
- INSTALL EROSION CONTROL MEASURES AS SHOWN ON PLAN.
- CUT AND REMOVE EXISTING BRUSH AND TREES AS REQUIRED. WOOD CHIPS FROM CLEARING OPERATIONS MAY BE USED ON SITE FOR EROSION CONTROL ACCORDING TO SPECIFICATIONS SPELLED OUT ON PLANS.
- INSTALL ALL UNDERGROUND DRAINAGE AND UTILITIES.
- ROUGH GRADE SITE AS SHOWN ON PLAN.
- PREPARE SITE AND INSTALL PROPOSED PAVEMENTS, STRUCTURES AND AMENITIES AS SHOWN ON PLAN.
- PLANT, SEED, MULCH AND FERTILIZE ALL DISTURBED AREAS AS REQUIRED PER SPECIFICATIONS ON PLANS.
- REMOVE SEDIMENTATION AND EROSION CONTROL MEASURES ONLY AFTER ALL AREAS ARE STABILIZED.
- THE PERSON RESPONSIBLE FOR THE PROPER IMPLEMENTATION OF THE DESIGN AND/OR FIXING ANY POTENTIAL PROBLEMS IS THE OWNER OR THEIR DESIGNEE.

STOCKPILE MANAGEMENT

STOCKPILE MANAGEMENT OF TOPSOIL AND OTHER TYPES OF ERODIBLE SOILS IS NECESSARY TO PREVENT UNNECESSARY DAMAGE RESULTING FROM EROSION OF STOCKPILE MATERIAL. LOCATE STOCKPILES SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED. ATTEMPT TO MAXIMIZE THE DISTANCE OF STOCKPILES FROM WETLANDS, WATERCOURSES, DRAINAGE WAYS, AND STEEP SLOPES. WHEN THE STOCKPILE IS DOWN GRADIENT FROM A LONG SLOPE, DIVERT RUNOFF WATER AWAY FROM OR AROUND THE STOCKPILE. INSTALL A GEOTEXTILE SILT FENCE OR HAY BALE BARRIER AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE PROPOSED TOE OF THE SLOPE. THE SIDE SLOPES OF STOCKPILED MATERIAL THAT IS ERODIBLE SHOULD BE NO STEEPER THAN 2:1. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. THE SEED MIX USED DEPENDS UPON THE STOCKPILED MATERIAL AND THE LENGTH OF TIME IT IS TO REMAIN STOCKPILED. INFORMATION GATHERED FROM SOIL BORINGS AND SOIL DELINEATIONS CAN BE USED TO PLAN THE TYPE OF SEED AND ANY SOIL AMENDMENTS THAT ARE APPROPRIATE FOR THE STOCKPILE. AFTER THE STOCKPILE HAS BEEN REMOVED, THE SITE SHOULD BE GRADED AND PERMANENTLY STABILIZED. IF A STOCKPILE IS LOCATED OFF-SITE, LOCAL ZONING APPROVAL MAY BE REQUIRED. IN ADDITION TO THE ABOVE CRITERIA, STOCKPILES THAT ARE LOCATED OFF-SITE REQUIRE A CONSTRUCTION ENTRANCE PAD INSTALLED AT THAT SITE. DEPENDING ON THE VOLUME OF TRAFFIC, THE INSTALLATION OF "TRUCK CROSSING" SIGNS AND SWEEPING OF THE ROADWAY MAY ALSO BE NECESSARY.

PERMANENT SEEDING/SOIL STABILIZATION

- PREPARE ALL DISTURBED AREAS TO RECEIVE PERMANENT SEEDING. AVOID OVERTILLING AREA TO PREVENT EXPOSING WEED SEEDS. ADD TOPSOIL AND FINE GRADE AS REQUIRED.
- ALL DISTURBED AREAS WILL BE SEED AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON PLANTING PLAN (C-7):

SLOPED AREA

NEW ENGLAND WETLAND PLANTS, INC
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM

New England Erosion Control/Restoration Mix for Dry Sites

Botanical Name	Common Name	Indicator
<i>Elymus canadensis</i>	Canada Wild Rye	FACU+
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Lolium multiflorum</i>	Annual Ryegrass	
<i>Lolium perenne</i>	Perennial Ryegrass	
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Sorghastrum nutans</i>	Indian Grass	UPL

APPLY: 35 LBS/ACRE :1250 sq ft/lb

The New England Erosion Control/Restoration Mix for Dry Sites provides an appropriate selection of native and naturalized grasses to ensure that dry and recently disturbed sites will be quickly revegetated and the soil surface stabilized. It is an appropriate seed mix for road cuts, pipelines, steeper slopes, and areas requiring quick cover during the ecological restoration process. The mix may be applied by hydro-seeding, by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper soil-seed contact. Best results are obtained with a Spring or late Summer seeding. Late Spring through Mid-Summer seeding will benefit from a light mulching of weed-free straw to conserve moisture. If conditions are drier than usual, watering will be required. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free seed bed is necessary for optimal results.

BOTTOM OF SLOPE/WETLAND AREA

NEW ENGLAND WETLAND PLANTS, INC
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM

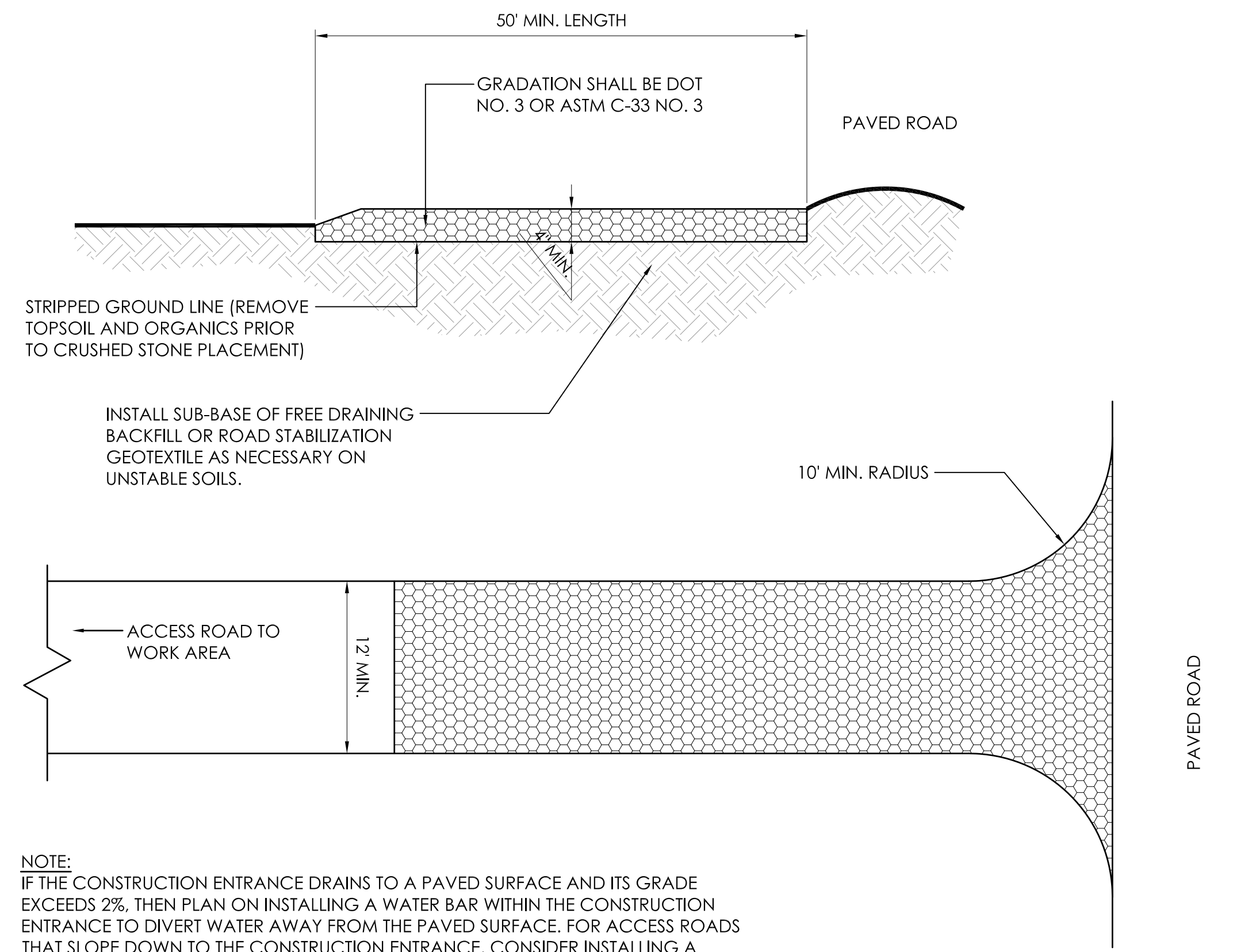
New England Erosion Control/Restoration Mix For Detention Basins and Moist Sites

Botanical Name	Common Name	Indicator
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Andropogon gerardii</i>	Big Bluestem	FAC
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Vernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Agrostis perennans</i>	Upland Bentgrass	FACU
<i>Bidens frondosa</i>	Beggar Ticks	FACW
<i>Eupatorium maculatum (Eutrochium maculatum)</i>	Spotted Joe Pye Weed	OBL
<i>Eupatorium perfoliatum</i>	Boneset	FACW
<i>Aster novae-angliae (Symphyotrichum novae-angliae)</i>	New England Aster	FACW-
<i>Scirpus cyperinus</i>	Wool Grass	FACW
<i>Juncus effusus</i>	Soft Rush	FACW+

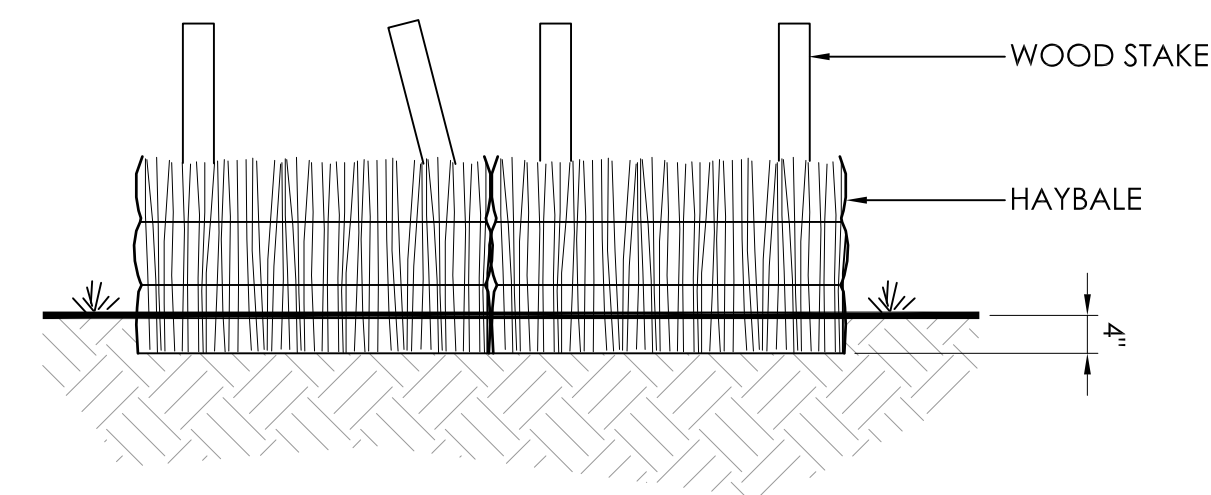
APPLY: 35 LBS/ACRE :1250 sq ft/lb

The New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites contains a selection of native grasses and wildflowers designed to colonize generally moist, recently disturbed sites where quick growth of vegetation is desired to stabilize the soil surface. It is an appropriate seed mix for ecologically sensitive restorations that require stabilization as well as long-term establishment of native vegetation. This mix is particularly appropriate for detention basins that do not hold standing water. Many of the plants in this mix can tolerate infrequent inundation, but not constant flooding. The mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late Fall and Winter dormant seeding requires an increase in the application rate. A light mulching of clean, weed-free straw is recommended.

- SEED WITH A PERMANENT SEED MIXTURE WITHIN 7 DAYS AFTER ESTABLISHING FINAL GRADES. SEEDING IS RECOMMENDED FROM APRIL 1 THROUGH JUNE 15 AND AUGUST 14 THROUGH OCTOBER 1 (OR AS RECOMMENDED BY SEED SUPPLIER).
- FOR AREAS WHERE TEMPORARY EROSION CONTROL BLANKETS ARE TO BE USED INSTEAD OF STRAW MULCH, PREPARE THE SEED BED IN ACCORDANCE WITH BLANKET MANUFACTURER'S RECOMMENDATIONS.
- INSPECT SEED BED JUST BEFORE SEEDING. IF THE SOIL IS COMPACTED, CRUSTED OR HARDENED, SCARIFY THE AREA PRIOR TO SEEDING. APPLY SELECTED SEED AT RATES PROVIDED BY MANUFACTURER UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED, MULCH). NORMAL SEEDING DEPTH IS FROM 0.25 TO 0.5 INCH. INCREASE SEEDING RATES BY 10% WHEN HYDROSEEDING.
- IF NOT HYDROSEEDING, APPLY STRAW MULCH OR EROSION BLANKET AS REQUIRED.
- WHEN SEEDING OUTSIDE OF THE RECOMMENDED SEEDING DATES IN THE SUMMER MONTHS, WATERING MAY BE ESSENTIAL TO THE ESTABLISH A NEW SEEDING. EACH APPLICATION MUST BE UNIFORMLY APPLIED WITH 1 TO 2 INCHES OF WATER APPLIED PER APPLICATION, SOAKING THE GROUND TO A DEPTH OF 4 INCHES. INSPECT SEED AREA AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER DURING THE FIRST GROWING SEASON.
- WHERE SEED HAD BEEN MOVED OR WHERE SOIL EROSION HAS OCCURRED DETERMINE THE CAUSE OF THE FAILURE. RE-SEED AND RE-MULCH, IF MOVEMENT WAS THE RESULT OF WIND, REPAIR EROSION DAMAGE (IF ANY), RE-APPLY SEED AND MULCH, AND APPLY MULCH ANCHORING. IF FAILURE WAS CAUSED BY CONCENTRATED WATER, 1) INSTALL ADDITIONAL MEASURES TO CONTROL WATER AND SEDIMENT MOVEMENT, 2) REPAIR EROSION DAMAGE, 3) RE-SEED AND 4) RE-APPLY MULCH WITH ANCHORING OR USE TEMPORARY EROSION CONTROL BLANKET AND/OR PERMANENT TURF REINFORCEMENT MAT.



2 CONSTRUCTION ENTRANCE DETAIL
ES-1 NOT TO SCALE



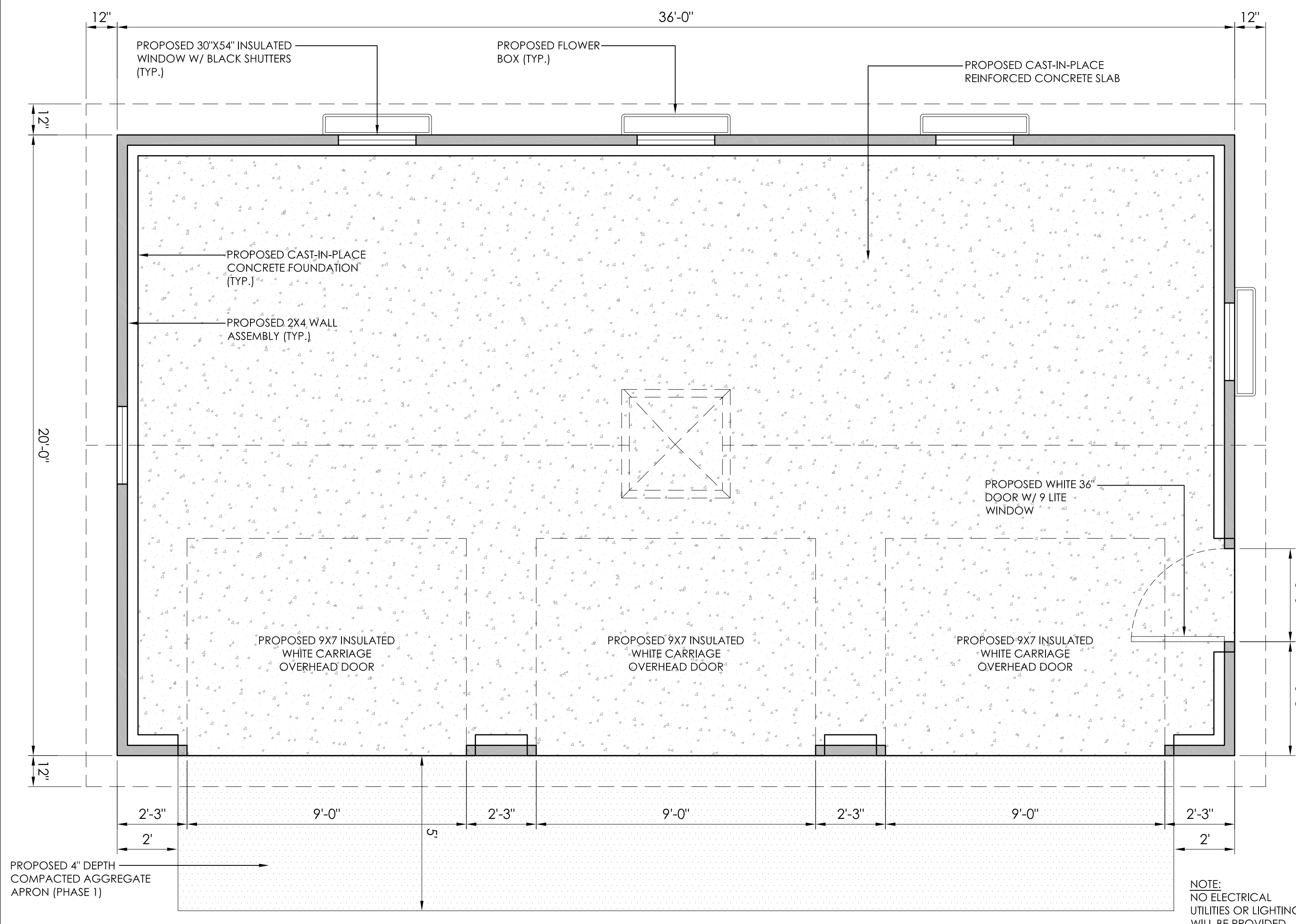
3 TYPICAL STAKED HAYBALE BARRIER DETAIL
ES-1 NOT TO SCALE

AEEA
 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl. East
 P.O. Box 770
 860-824-1400
 860-824-1401 fax
 allied.george@gmail.com

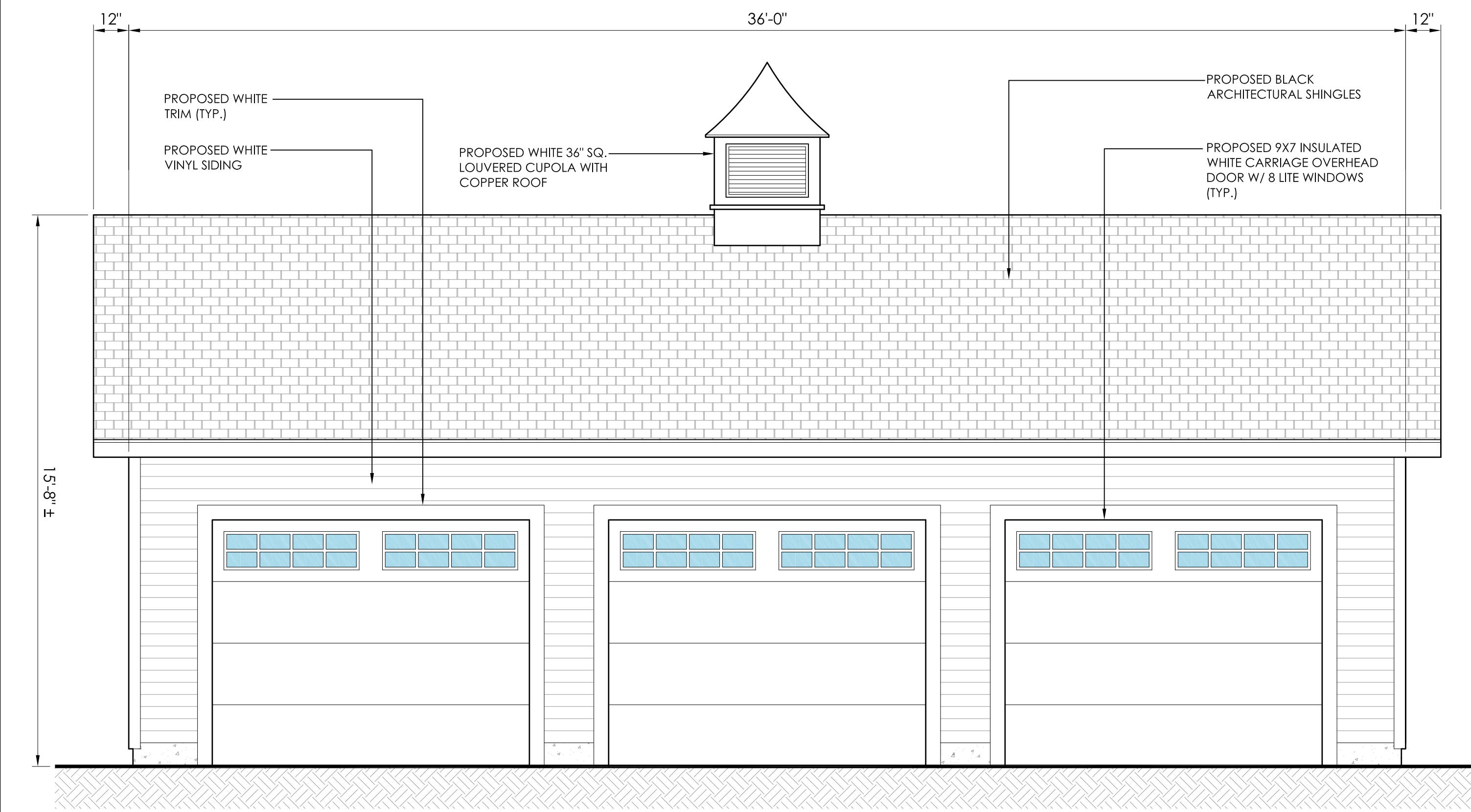
REVISIONS - DESCRIPTION - DATE - INITIAL
 1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024
 2. UPDATED PER STAFF REVIEW COMMENTS 2/20/2025

MANOR HOUSE INN PROPERTY IMPROVEMENT
 SEDIMENTATION AND EROSION CONTROL NOTES
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

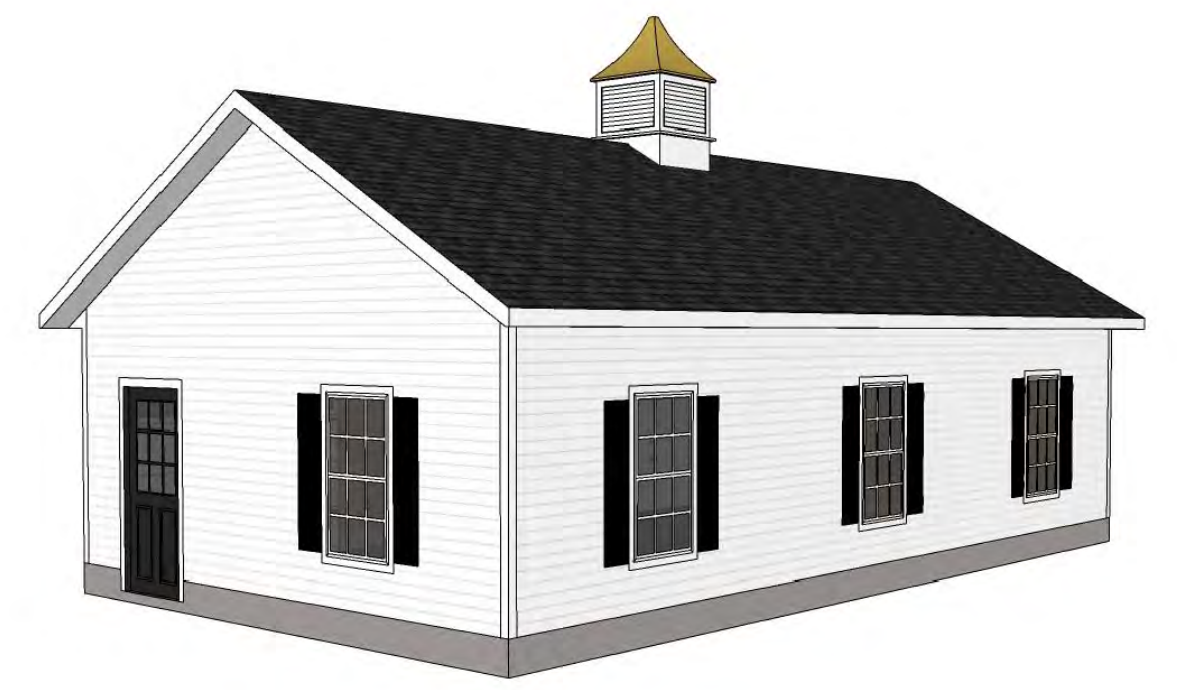
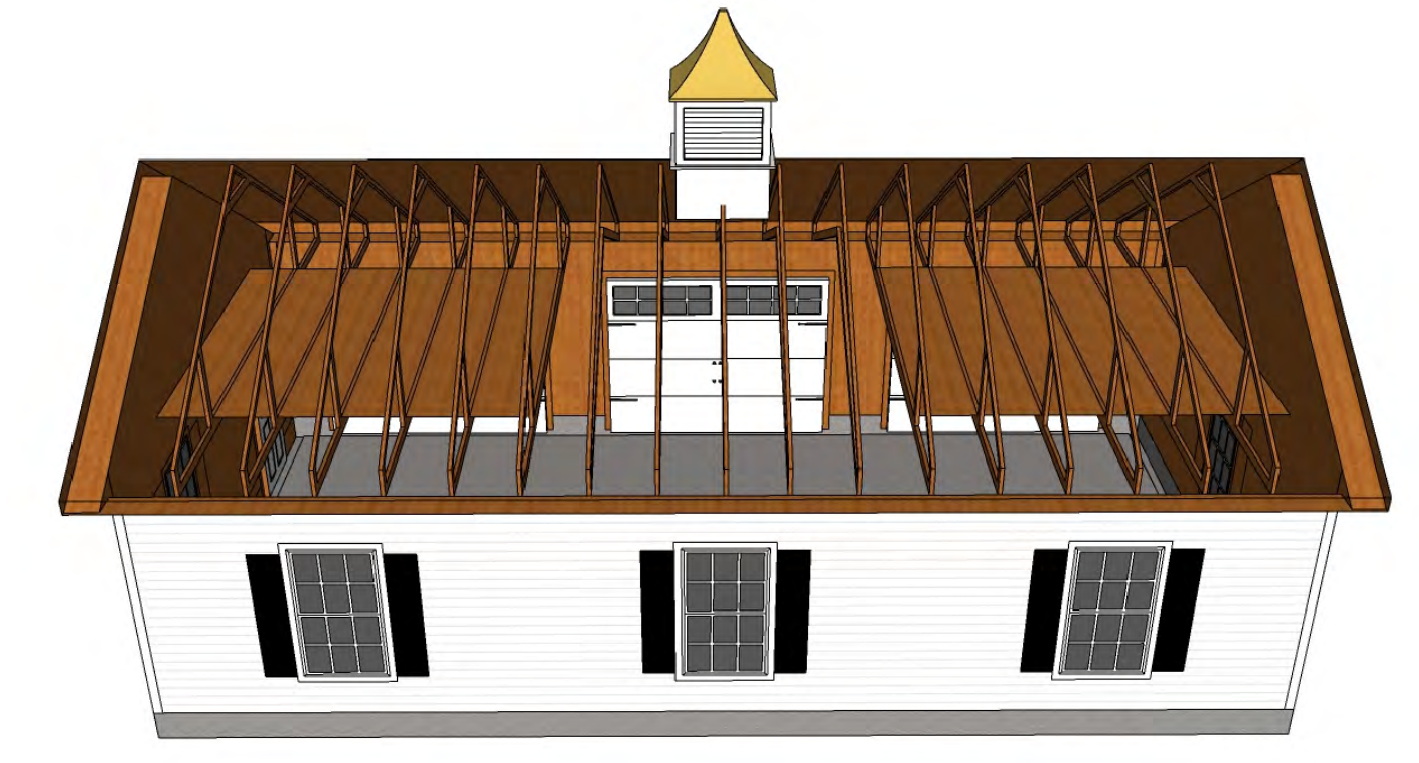
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 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. ES-1



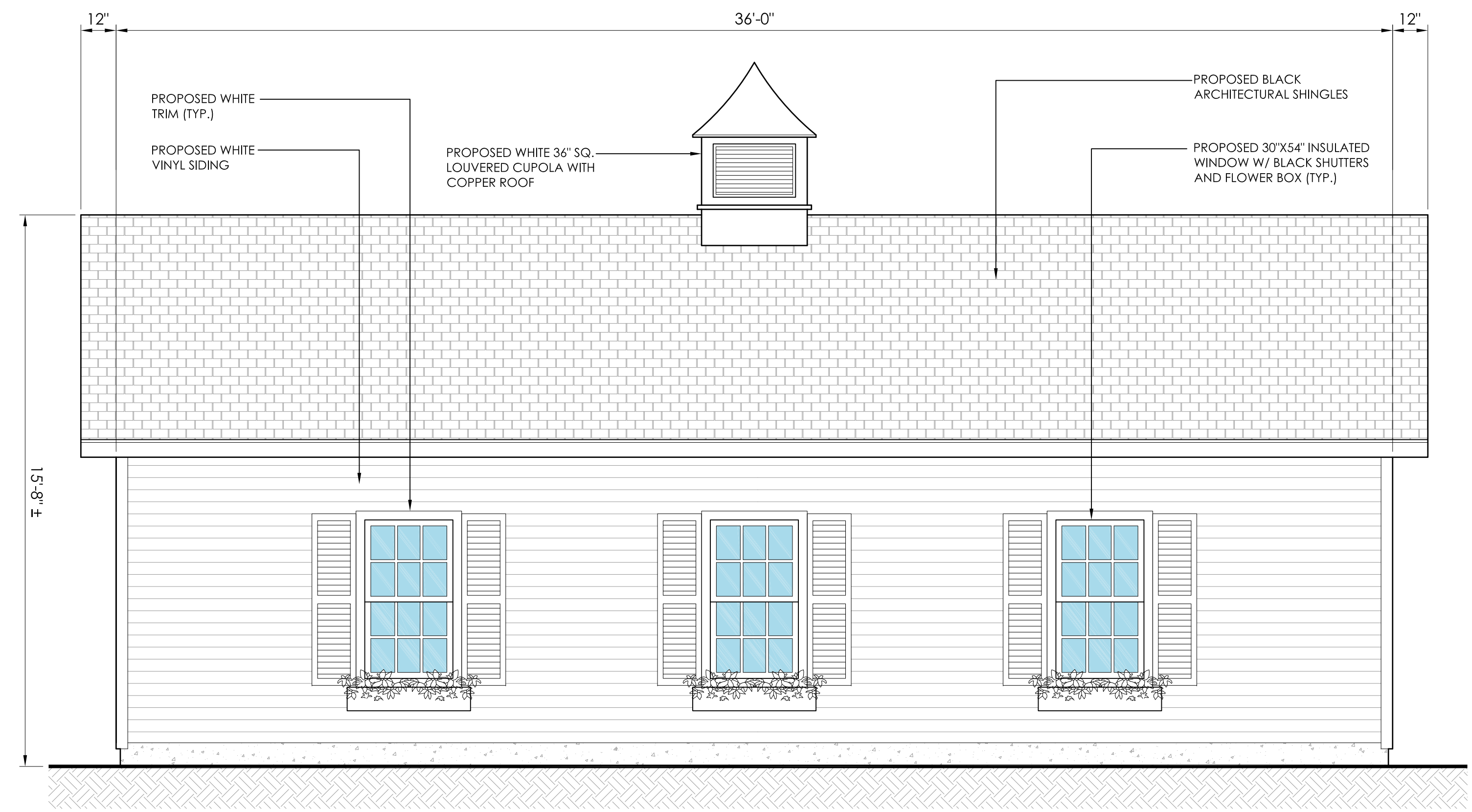
1 PROPOSED STORAGE GARAGE (LAYOUT PLAN)
A-1 SCALE: 3/8"=1'-0"



2 PROPOSED STORAGE GARAGE (WEST ELEVATION)
A-1 SCALE: 3/8"=1'-0"



3 PROPOSED STORAGE GARAGE (REPRESENTATIVE IMAGES-KLOTER FARMS)
A-1 NOT TO SCALE



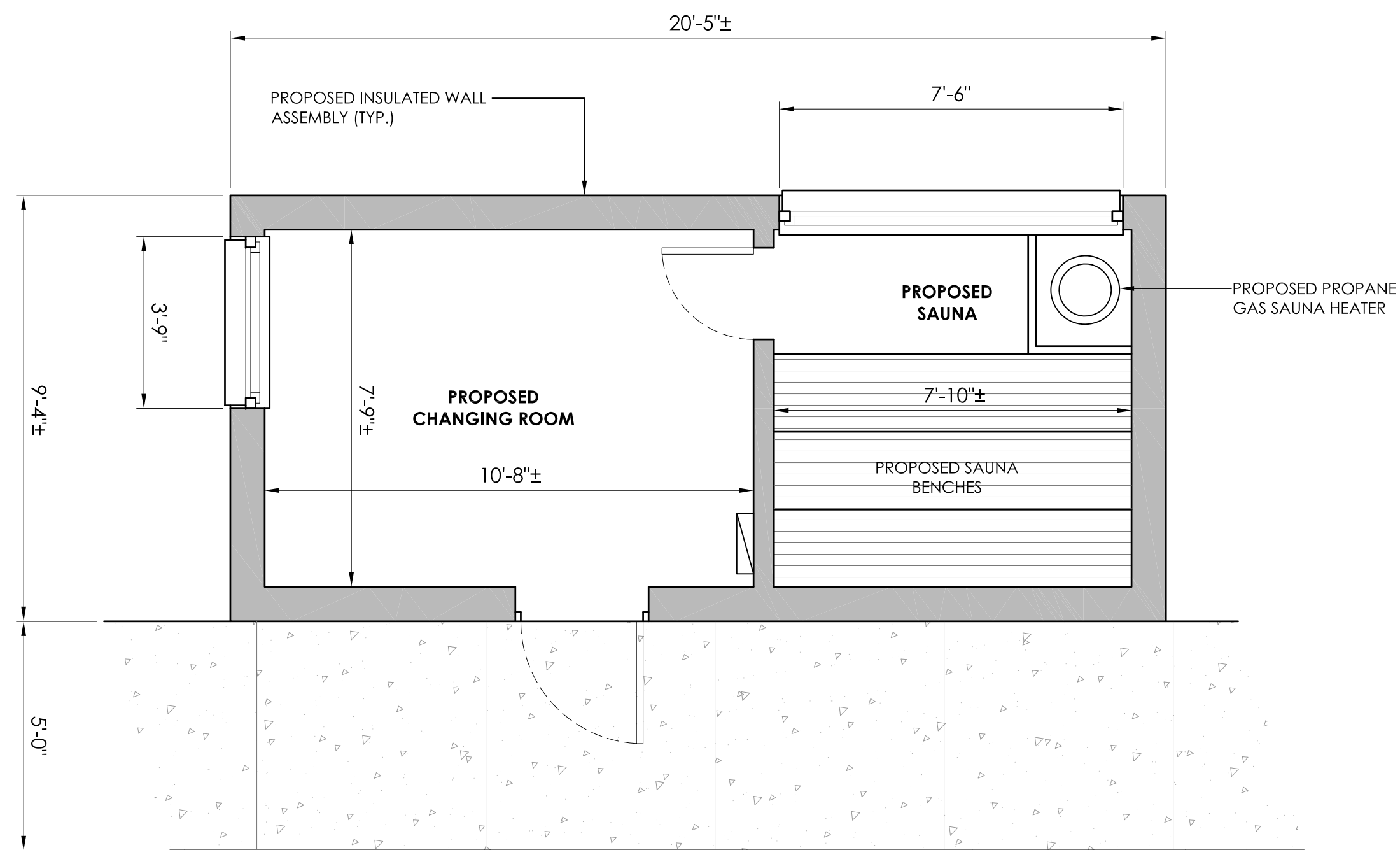
4 PROPOSED STORAGE GARAGE (EAST ELEVATION-MAPLE AVENUE)
A-1 SCALE: 3/8"=1'-0"

SEA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. E. Box 18
P.O. Box 7700, Norwalk, CT 06618
860-824-1400 860-824-1401 fax
aet.george@gmail.com

REVISION NUMBER - DESCRIPTION - DATE - INITIAL
1. UPDATED PER STAFF REVIEW COMMENTS 12/31/2024

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED GARAGE PLAN/ELEVATIONS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-3
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. A-1



1 PROPOSED SAUNA PLAN
A-2 SCALE: 3/8"=1'-0"



2 PROPOSED SAUNA (REPRESENTATIVE IMAGES-EXTERIOR)
A-2 NOT TO SCALE

584

AEFA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
770 North Main St., CT 06018
P.O. Box 7700 North Main St., CT 06018
860-824-1400 860-824-1401 fax
aeaf.george@gmail.com

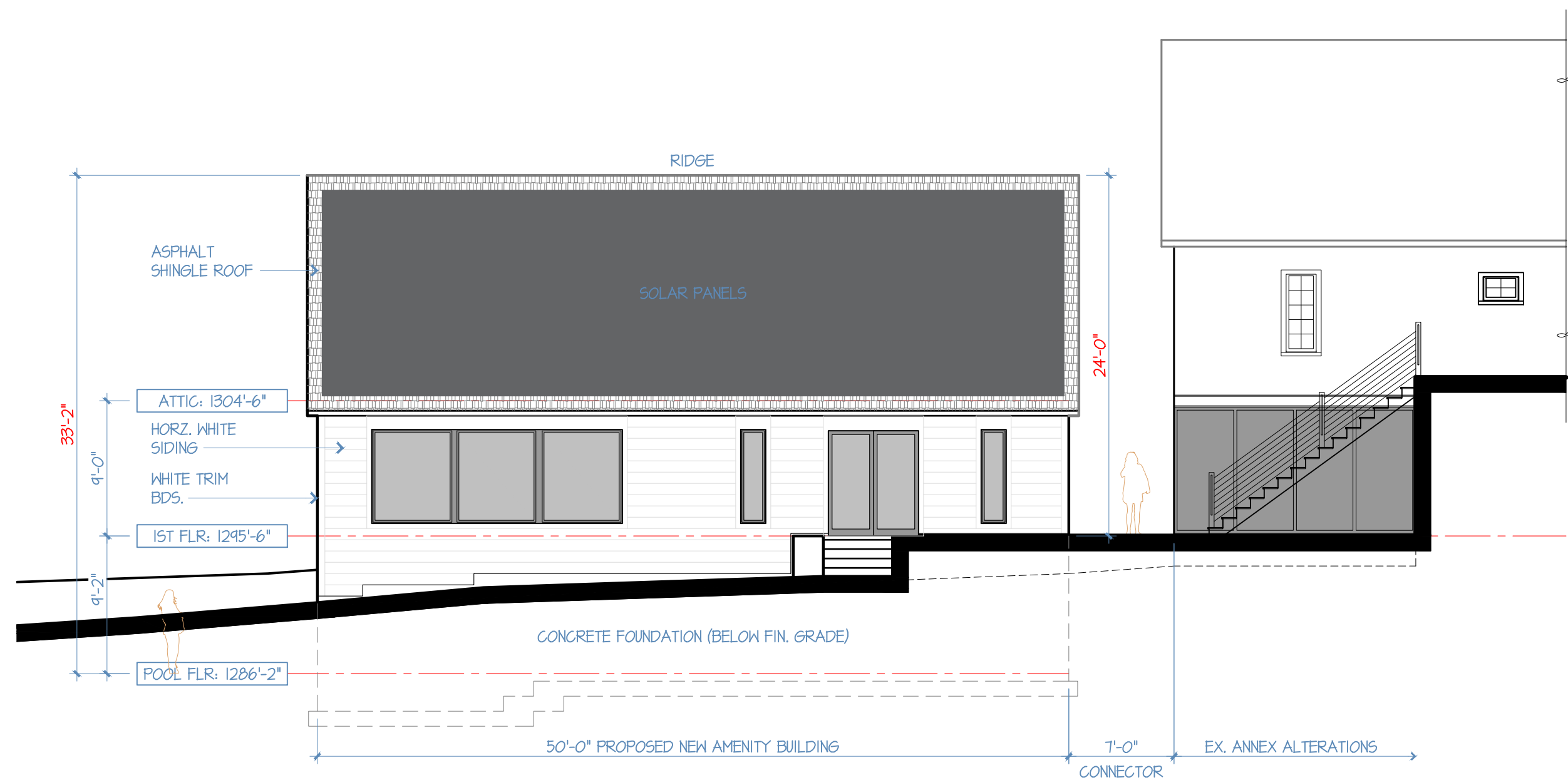
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MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SAUNA PLAN/ELEVATIONS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

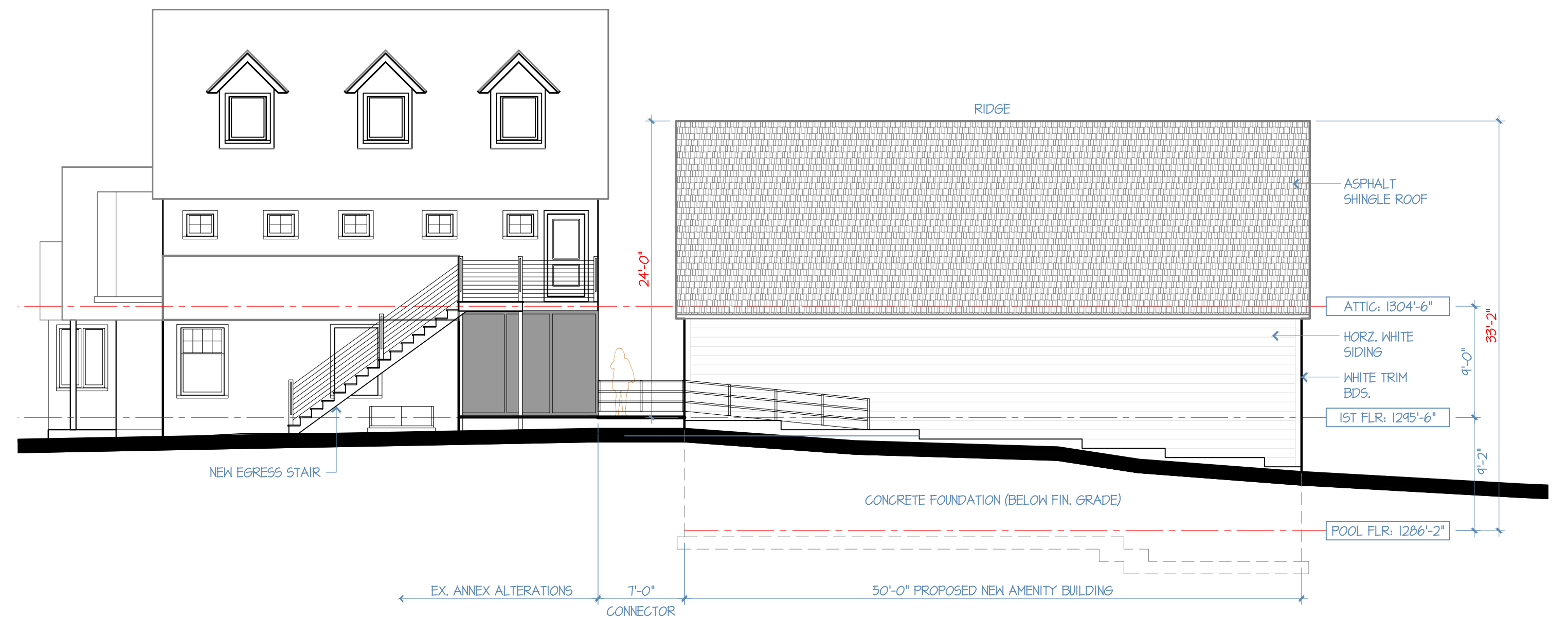
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PROJECT NO. 1075

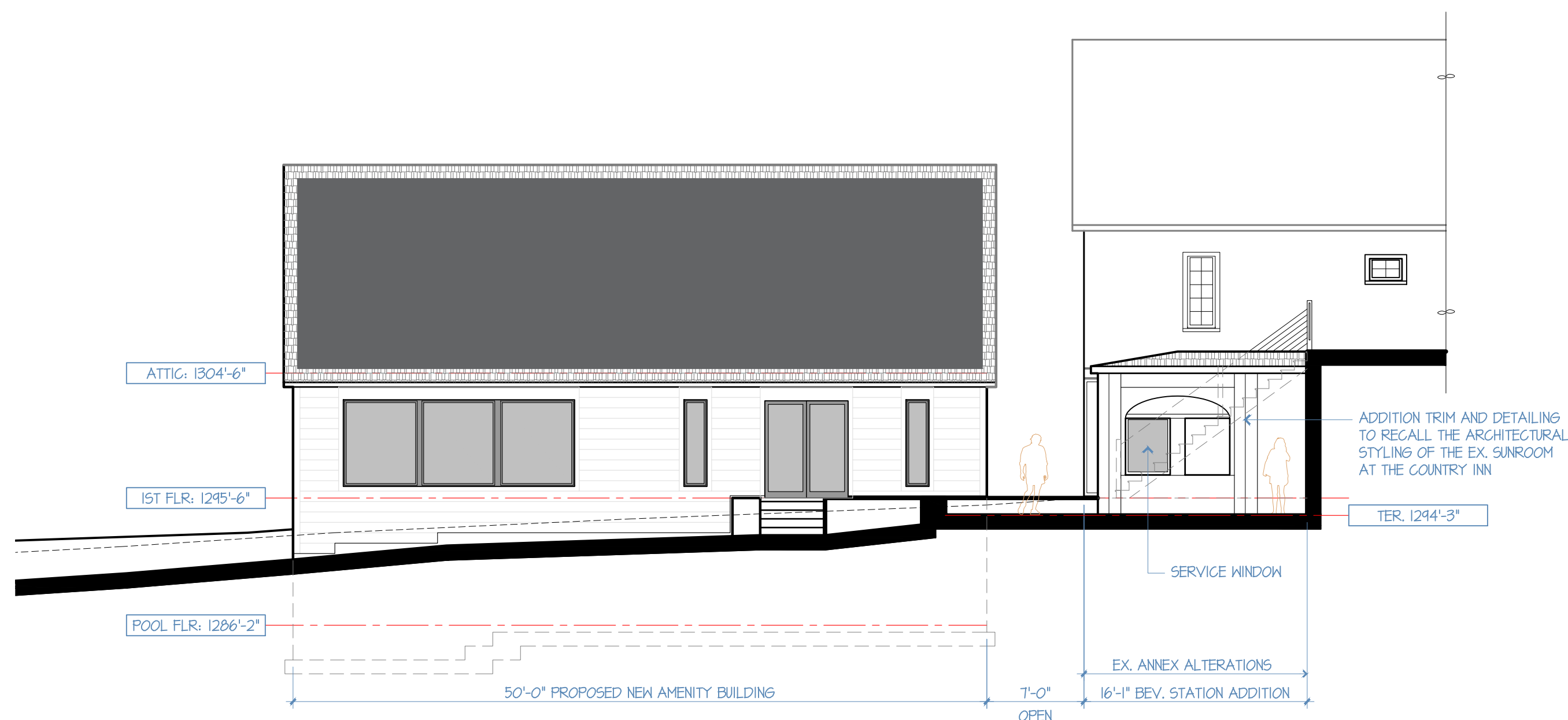
DRAWING NO. A-2



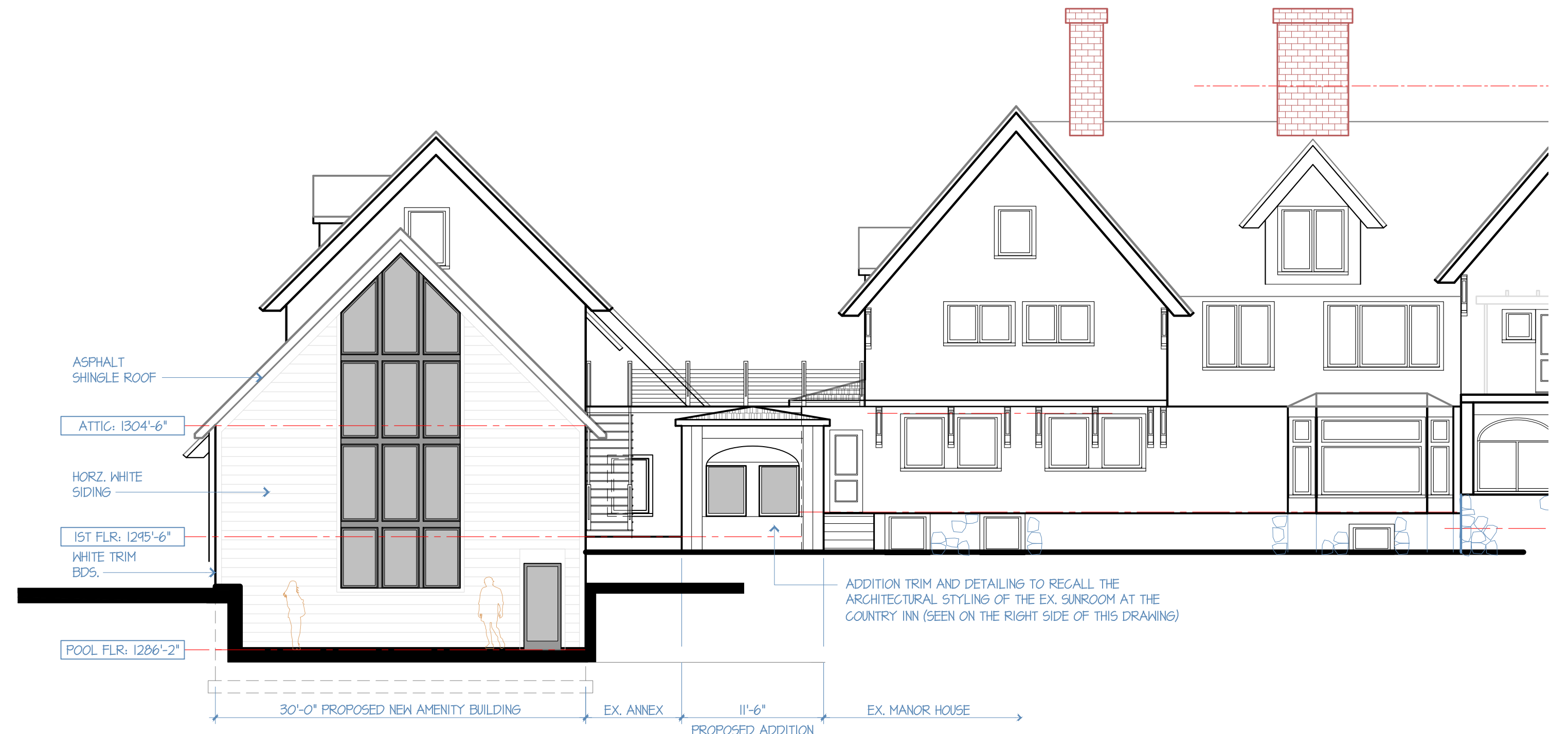
1. PROPOSED SOUTHWEST EXTERIOR ELEVATION
VIEW FROM REAR TERRACES & OUTDOOR AMENITY AREAS



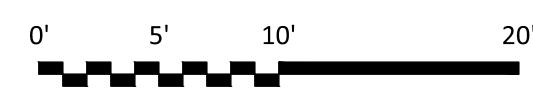
2. PROPOSED NORTHEAST EXTERIOR ELEVATION
VIEW FROM MILLS WAY (NORTH END OF PROPERTY) & PARKING LOT



3. PROPOSED SOUTHWEST EXTERIOR ELEVATION
VIEW FROM REAR TERRACES & OUTDOOR AMENITY AREAS SHOWING THE BEVERAGE STATION ADDITION



4. PROPOSED NORTHWEST EXTERIOR ELEVATION
VIEW FROM MILLS WAY (WEST END OF PROPERTY) & REAR YARD



ROB WHITE ARCHITECT LLC

441 OXFORD RD., SUITE 3A OXFORD, CT 06478 WWW.ROBWHITEARCHITECT.COM (203) 848-7189
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MANOR HOUSE INN

PROPOSED NEW AMENITY BUILDING & ANNEX ALTERATIONS FOR RAY HOSPITALITY INC. 6 MAPLE AVE. - NORFOLK, CT 06058

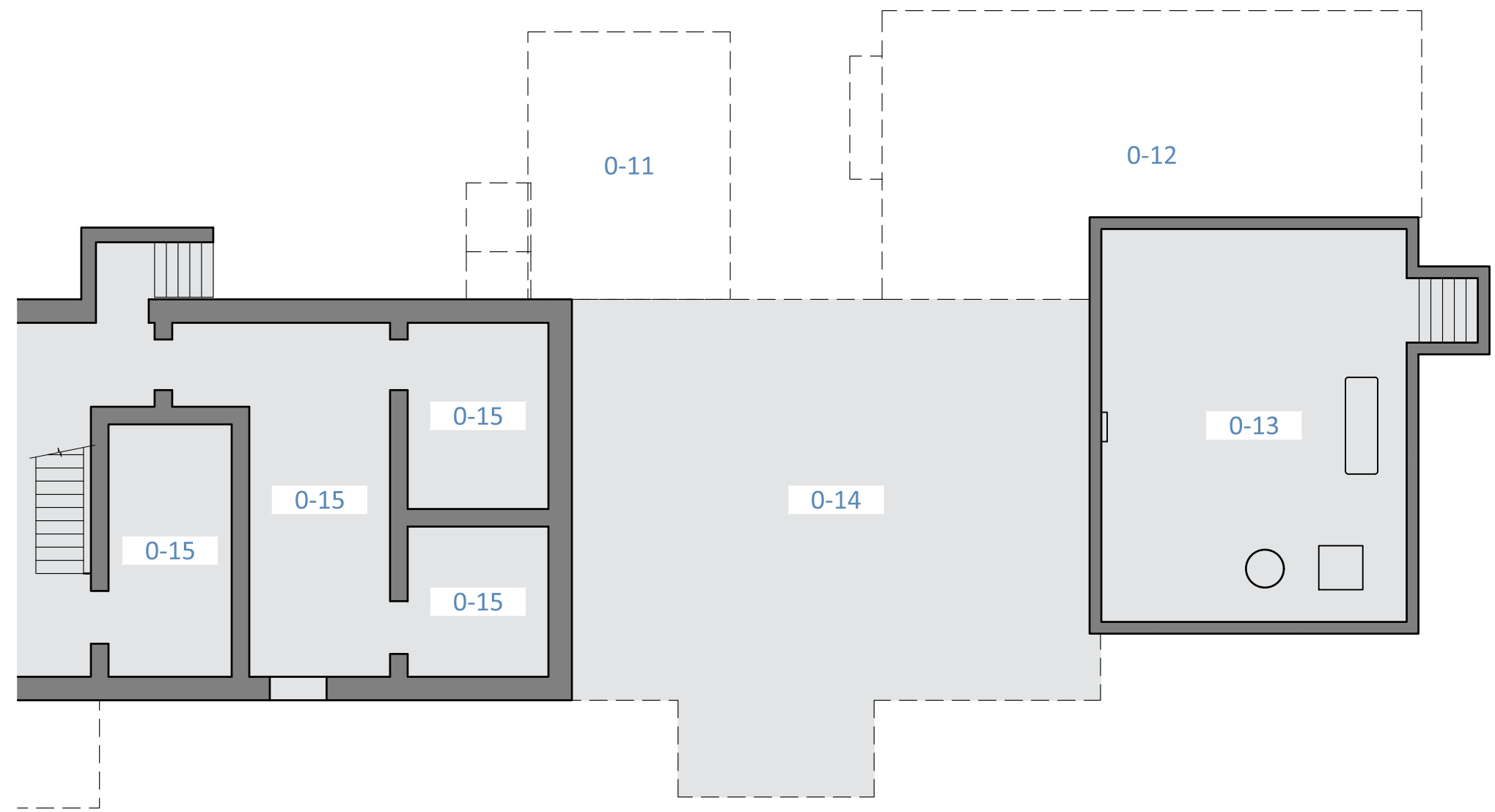
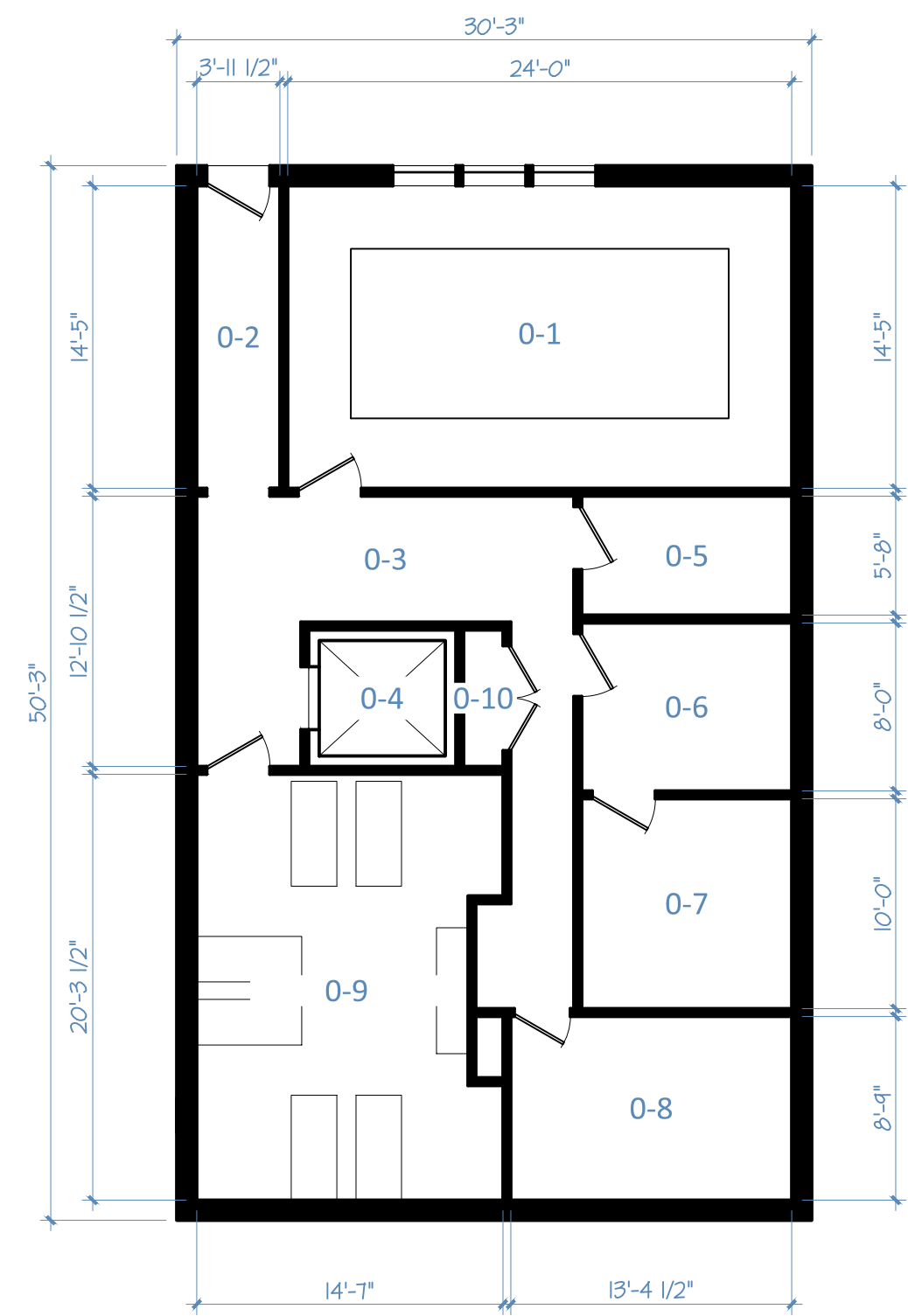
PROPOSED AMENITY ADDITION

PLANNING AND ZONING COMMISSION REVIEW ONLY - REVISED 12/31/2024 DATE: 12/3/2024
SCALE: 1/8" = 1'-0"

A-4.1

POOL LEVEL PLAN INFO.

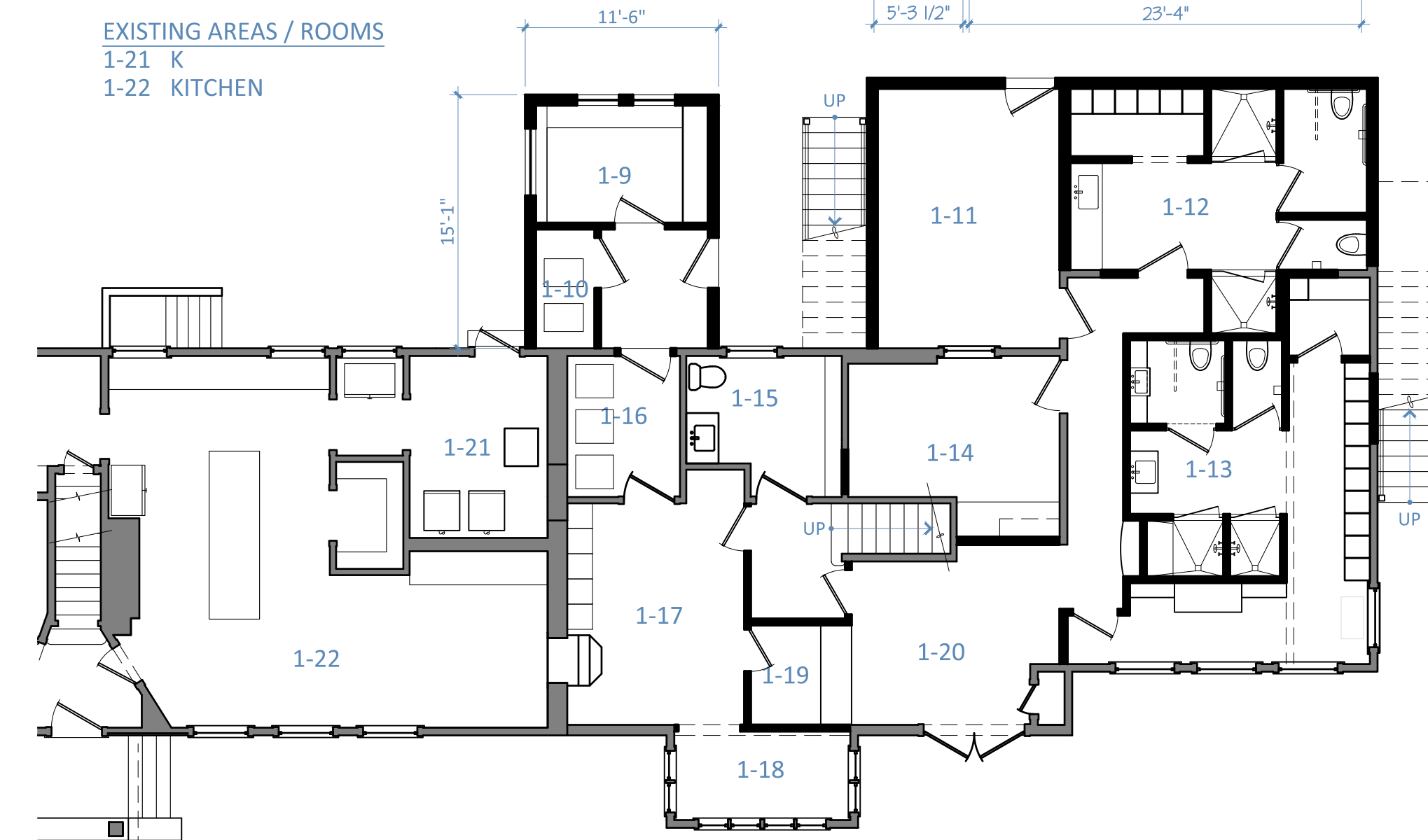
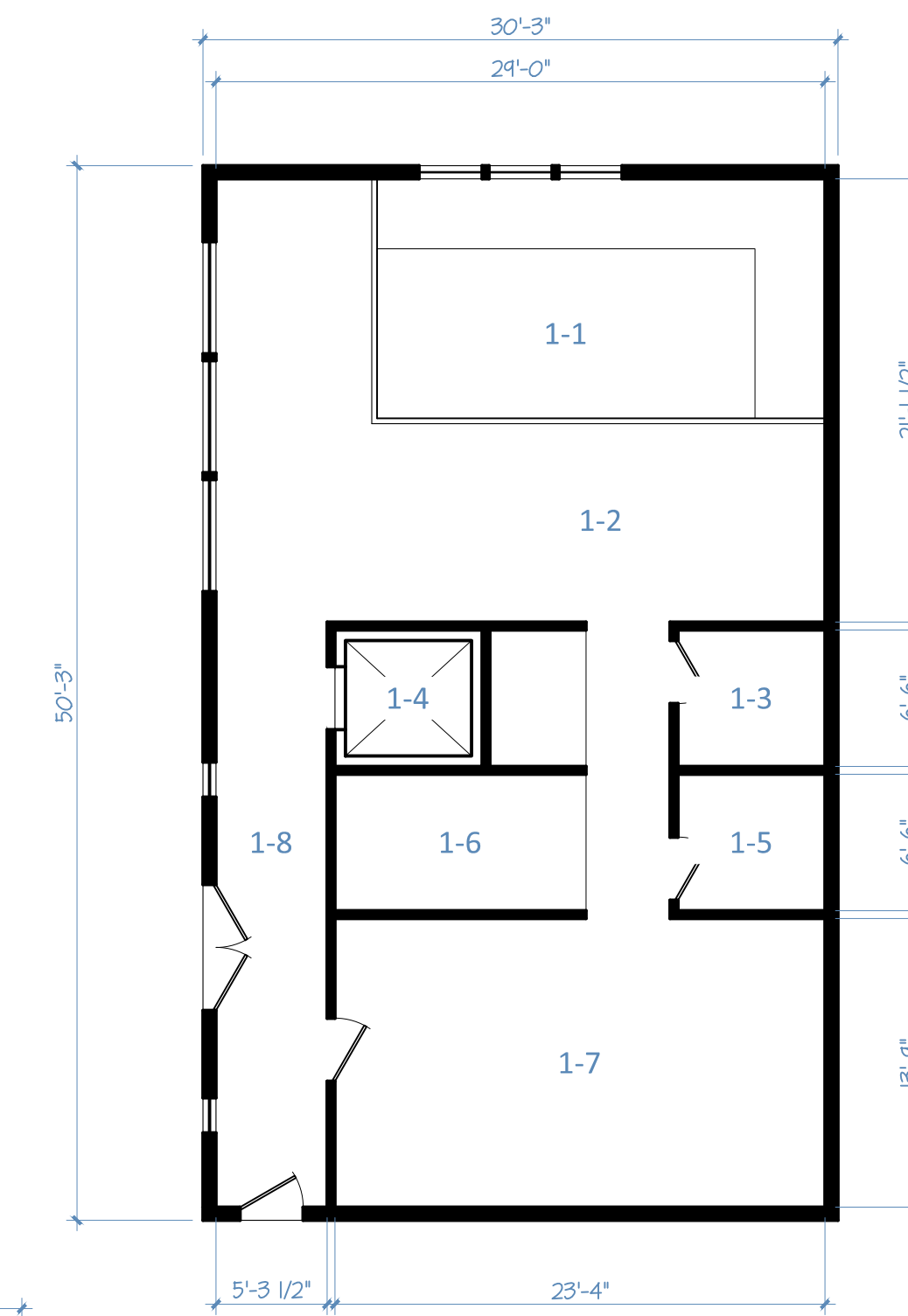
- EXISTING BUILDING AREA
- AREAS
1,500 SF NEW AMENITY BUILDING AREA
- NEW AREAS / ROOMS (ADDITION)
 0-1 POOL
 0-2 PASSAGE
 0-3 HALL
 0-4 ELEVATOR
 0-5 ADA TOILET
 0-6 ADA SHOWER
 0-7 STEAM ROOM
 0-8 MECHANICAL ROOM
 0-9 DARK REST ROOM
 0-10 STORAGE
 0-11 NEW FOUNDATION (BEV. STATION ABOVE)
- EXISTING AREAS / ROOMS
 0-12 EX. ANNEX ABOVE (NEW FOUNDATION TO CONSTRUCTED IN SAME AREA)
 0-13 EX. CRAWL AMENITYCE
 0-14 EX. FOUNDATION / SLAB ON GRADE (ANNEX ABOVE)
 0-15 EX. BASEMENT



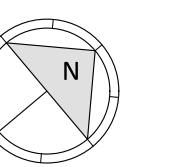
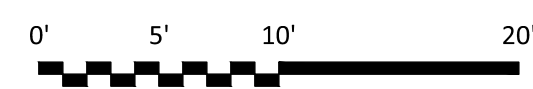
1. PROPOSED LOWER LEVEL FLOOR PLAN
NEW AMENITY BUILDING & ANNEX ALTERATIONS

1ST FLOOR LEVEL INFO.

- EXISTING BUILDING AREA
- AREAS
1,500 SF NEW AMENITY BUILDING AREA
173 SF NEW BEVERAGE STATION ADDITION AREA
1,595 SF EX. ANNEX ALTERATION AREA
- NEW AREAS / ROOMS (ADDITION)
 1-1 POOL AREA BELOW
 1-2 BRIGHT REST AREA
 1-3 TOILET
 1-4 ELEVATOR
 1-5 TOILET
 1-6 VANITY
 1-7 CHANGING / SHOWERS
 1-8 PASSAGE
 1-9 BEVERAGE STATION
 1-10 PUMPS / UTILITY
 1-11 REST AREA
 1-12 MEN'S CHANGING ROOM
- NEW ROOMS IN EXISTING AREAS (ALTERATION)
 1-13 WOMEN'S CHANGING ROOM
 1-14 MASSAGE
 1-15 STAFF TOILET
 1-16 LAUNDRY
 1-17 STAFF AREA
 1-18 OFFICE
 1-19 RECEPTION
 1-20 ENTRY
- EXISTING AREAS / ROOMS
 1-21 K
 1-22 KITCHEN



2. PROPOSED 1ST FLOOR PLAN
NEW AMENITY BUILDING & ANNEX ALTERATIONS



ROB WHITE ARCHITECT LLC

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MANOR HOUSE INN

PROPOSED NEW AMENITY BUILDING & ANNEX ALTERATIONS FOR RAY HOSPITALITY INC. 6 MAPLE AVE. - NORFOLK, CT 06058

PROPOSED BUILDING PLAN FOR SITE DEVELOPMENT

PLANNING AND ZONING COMMISSION REVIEW ONLY - REVISED 12/31/2024 DATE: 12/3/2024
SCALE: 1/8" = 1'-0"

A-4.2

2ND FLOOR LEVEL INFO.

EXISTING BUILDING AREA

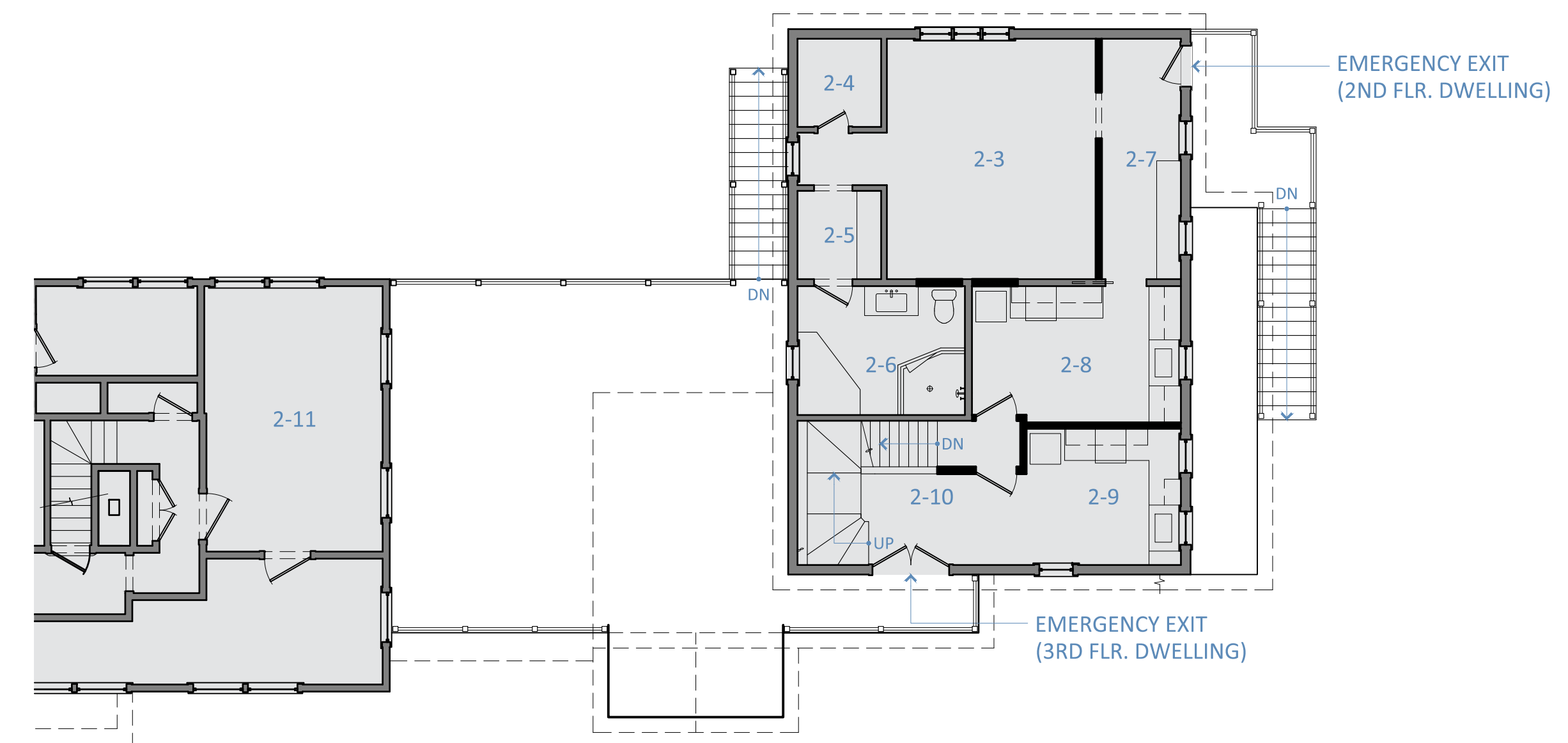
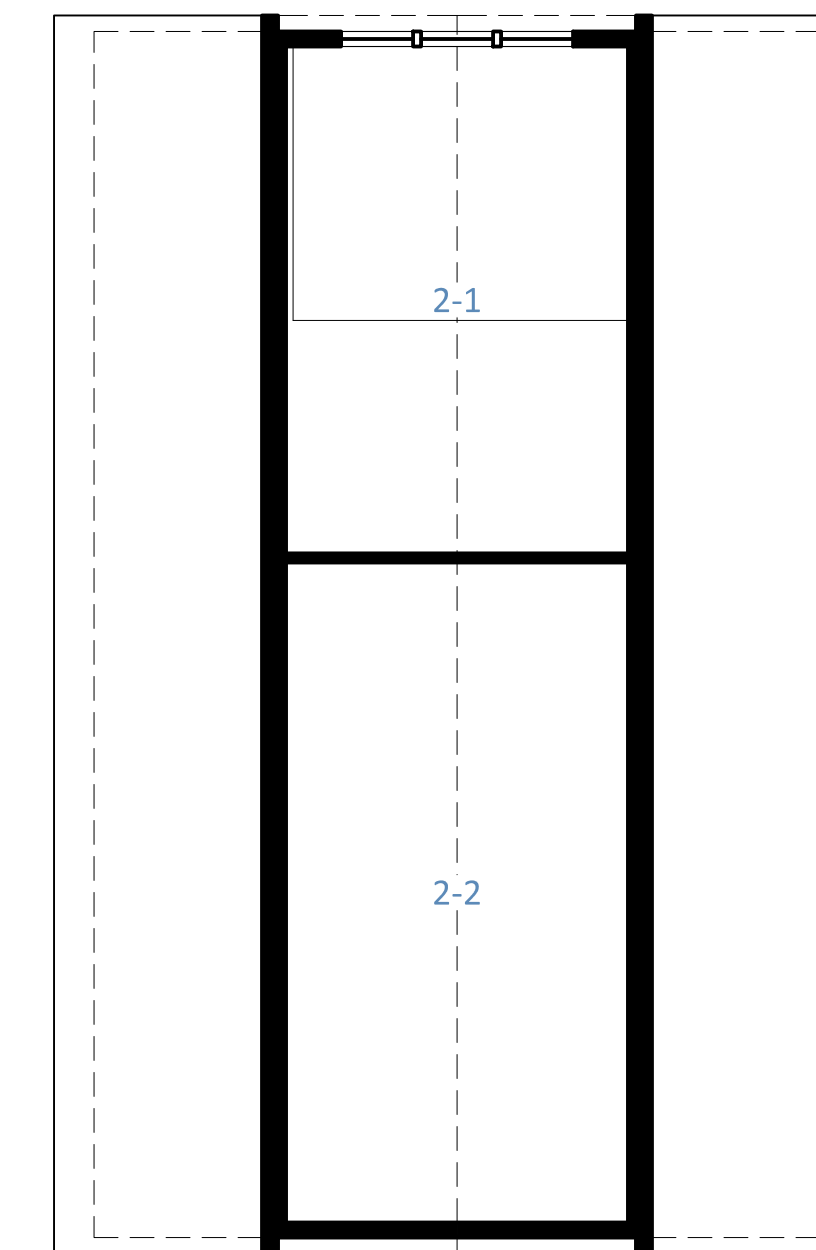
AREAS
932 SF ANNEX ALTERATION AREA

NEW AREAS / ROOMS (ADDITION)
2-1 OPEN TO POOL AREA BELOW
2-2 ATTIC

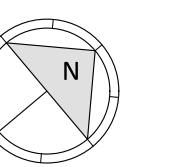
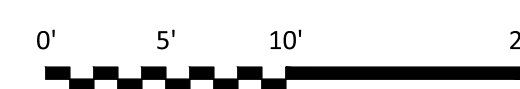
NEW ROOMS IN EXISTING AREAS (ALTERATION)

2-3 BEDROOM
2-4 CLOSET
2-5 CLOSET
2-6 BATHROOM
2-7 ENTRY
2-8 KITCHENETTE
2-9 KITCHENETTE
2-10 STAIR

EXISTING AREAS / ROOMS
2-11 EXISTING AREAS IN THE COUNTRY INN
(NO CHANGE)



1. PROPOSED 2ND FLOOR PLAN
NEW AMENITY BUILDING & ANNEX ALTERATIONS



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PROPOSED BUILDING PLAN FOR SITE DEVELOPMENT

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SCALE: 1/8" = 1'-0"

A-4.3