

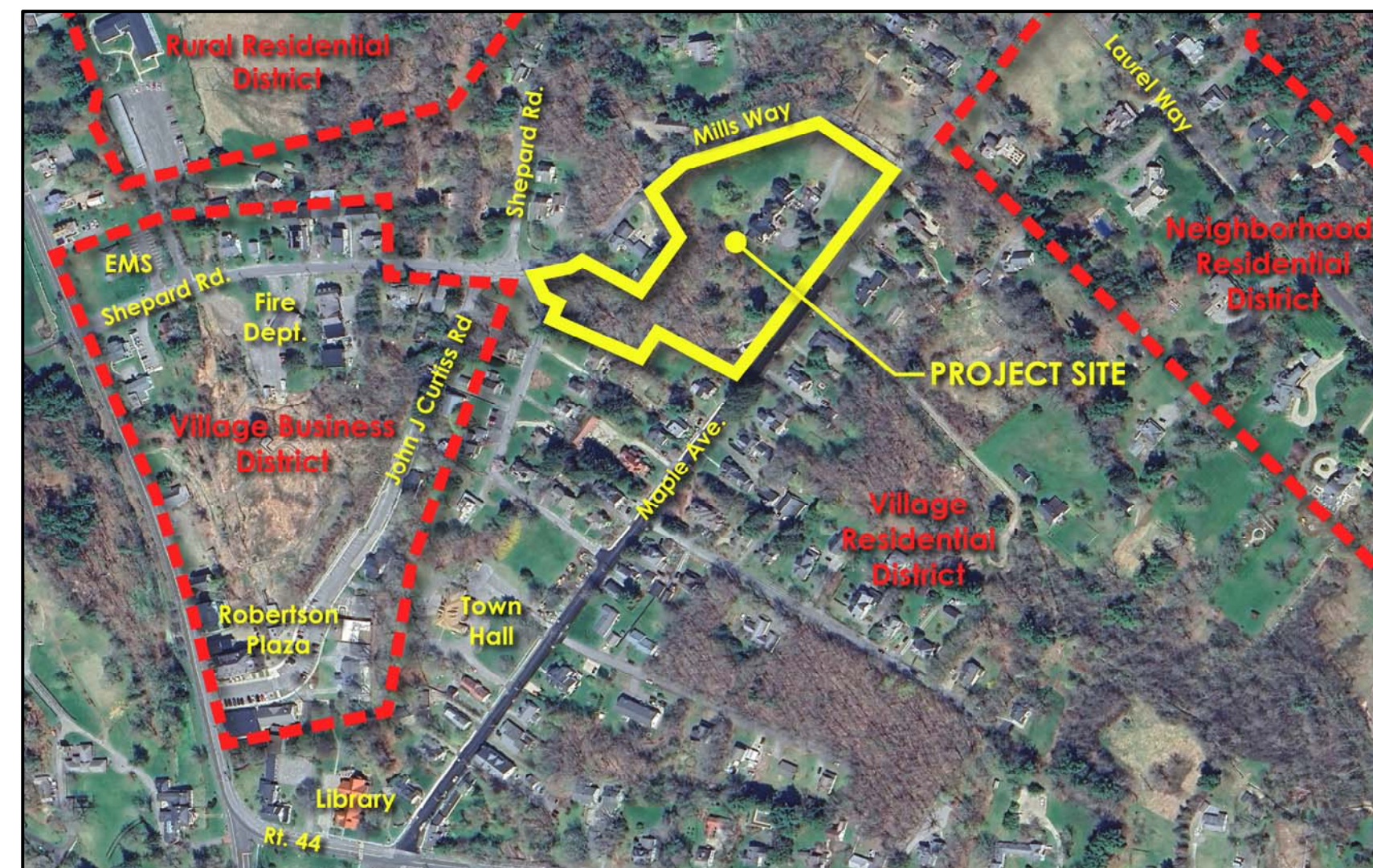
MANOR HOUSE INN

69 Maple Avenue, Norfolk, Connecticut 06058



PROPERTY IMPROVEMENT PLAN

LOCATION MAP



DRAWING LIST

- | | | | |
|-------|--------------------------------|-------|---|
| C-1 | EXISTING SITE PLAN | C-7 | PROPOSED PLANTING PLAN |
| C-2 | PROPOSED OVERALL SITE PLAN | C-7.1 | PROPOSED PLANT SCHEDULE & DETAILS |
| C-3 | PROPOSED SITE LAYOUT PLAN | C-7.2 | PROPOSED PLANT IMAGES |
| C-3R | PROPOSED SITE RENDERING | ES-1 | SEDIMENTATION AND EROSION CONTROL NOTES |
| C-3.1 | PROPOSED SITE ENLARGEMENT PLAN | A-1 | PROPOSED GARAGE PLAN/ELEVATIONS |
| C-3.2 | PROPOSED SITE DETAILS | A-2 | PROPOSED SAUNA PLAN/ELEVATIONS |
| C-4 | PROPOSED SITE GRADING PLAN | A-3 | PROPOSED CABIN PLAN/ELEVATIONS |
| C-5 | PROPOSED SITE DRAINAGE PLAN | A-4.1 | PROPOSED ADDITION & ALTERATIONS ELEVATIONS |
| C-6 | PROPOSED SITE LIGHTING PLAN | A-4.2 | PROPOSED ADDITION & ALTERATIONS FLOOR PLANS |
| C-6.1 | PROPOSED SITE LIGHTING DETAILS | A-4.3 | PROPOSED ADDITION & ALTERATIONS FLOOR PLANS |

PREPARED FOR:
Ray Hospitality, Inc.
69 Maple Avenue
Norfolk, Connecticut

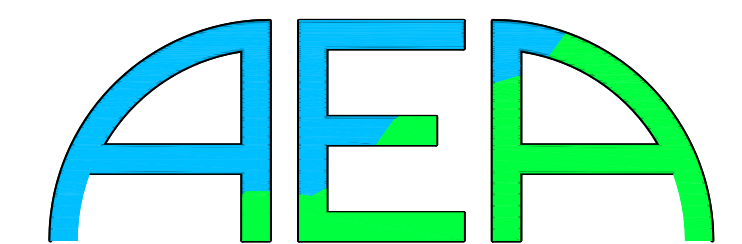


COUNSEL:
HINCKLEY ALLEN
20 CHURCH STREET, HATFORD, CT 06103
(860) 725-6200 WWW.HINCKLEYALLEN.COM

ISSUED FOR PERMITTING
December 3, 2024



ROB WHITE ARCHITECT LLC
441 OXFORD ROAD, OXFORD, CT 06478
(203) 846-7189 WWW.ROBWHITEARCHITECT.COM



Allied Engineering Assoc. Inc.
95 Main St. 3rd. Flr. East, PO Box 726
North Canaan, Connecticut 06018
860-824-1400 860-824-1401 fax
aea.george@gmail.com

SITE INFORMATION

TAX MAP DESIGNATION:
TOWN OF NORFOLK, CT
MAP 7-12 BLOCK 193

PROPERTY OWNER:
THREE STEWARDS REAL ESTATE, LLC
C/O RAY HOSPITALITY INC.
620 RACEBROOK ROAD
ORANGE, CT 06477

APPLICANT:
ALLIED ENGINEERING ASSOC., INC.
95 MAIN STREET, 3RD FLOOR
NORTH CANAAN, CT 06018

ZONED: VILLAGE RESIDENTIAL

LOT AREA: 5 ACRES

ZONING DATA

NC: NO CHANGE
NR: NO REGULATION
NA: NOT APPLICABLE

LOT AREA/SETBACKS:

MINIMUM LOT AREA: 0.5 ACRES
MINIMUM LOT FRONTAGE: 100'
MINIMUM FRONT SETBACK: 25'
MINIMUM SIDE SETBACK: 15'
MINIMUM REAR SETBACK: 15'
MAXIMUM GROUND COVERAGE: 20%
MAXIMUM BUILDING HEIGHT: 3 STORIES/45'

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	0.5 ACRES	5 ACRES	NC
MINIMUM LOT FRONTAGE:	100'	596.49'	NC
MINIMUM FRONT SETBACK:	25'	25'	NC
MINIMUM SIDE SETBACK:	15'	15'	NC
MINIMUM REAR SETBACK:	15'	15'	NC
MAXIMUM GROUND COVERAGE:	20%	7%	12.8%
MAXIMUM BUILDING HEIGHT:	3 STORIES/45'	NC	NC

GENERAL NOTES

- PROPERTY BOUNDARY TAKEN FROM MAP TITLE "SURVEY OF BOYLE PROPERTY, EMERSON STREET, MILLS WAY ROAD & MAPLE AVENUE, NORFOLK, CT", DATED MARCH 1985, BY PETER B. KEEFE, SURVEYOR, WINSTED, CT.
- TOPOGRAPHY AND UTILITY INFORMATION TAKEN FROM PLAN TITLE "EXISTING CONDITIONS PLAN, RAY HOSPITALITY-MANOR HOUSE, 69 MAPLE AVENUE, NORFOLK, CT", DATED JULY 2022, BY CARDINAL ENGINEERING ASSOCIATES, LITCHFIELD, CT. ADDITIONAL TOPOGRAPHY FROM FIELD SURVEY BY ALLIED ENGINEERING ASSOCIATES, INC., NORTH CANAAN, CT.
- WETLAND BOUNDARY TAKEN FROM PLAN TITLE "EXISTING CONDITIONS PLAN, RAY HOSPITALITY-MANOR HOUSE, 69 MAPLE AVENUE, NORFOLK, CT", DATED JULY 2022, BY CARDINAL ENGINEERING ASSOCIATES, LITCHFIELD, CT.
- ALL EXISTING SITE FEATURES SHALL REMAIN AS IS UNLESS NOTED ON DRAWINGS.
- STATE LAW REQUIRES: CALL BEFORE YOU DIG 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK.
- ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE OWNER. NO CHANGES TO THE PROPOSED WORK CAN BE MADE WITHOUT PRIOR APPROVAL.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL METHODS DEEMED NECESSARY BY TOWN STAFF SHALL BE IMPLEMENTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK AREAS TO BE RESTORED TO EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.

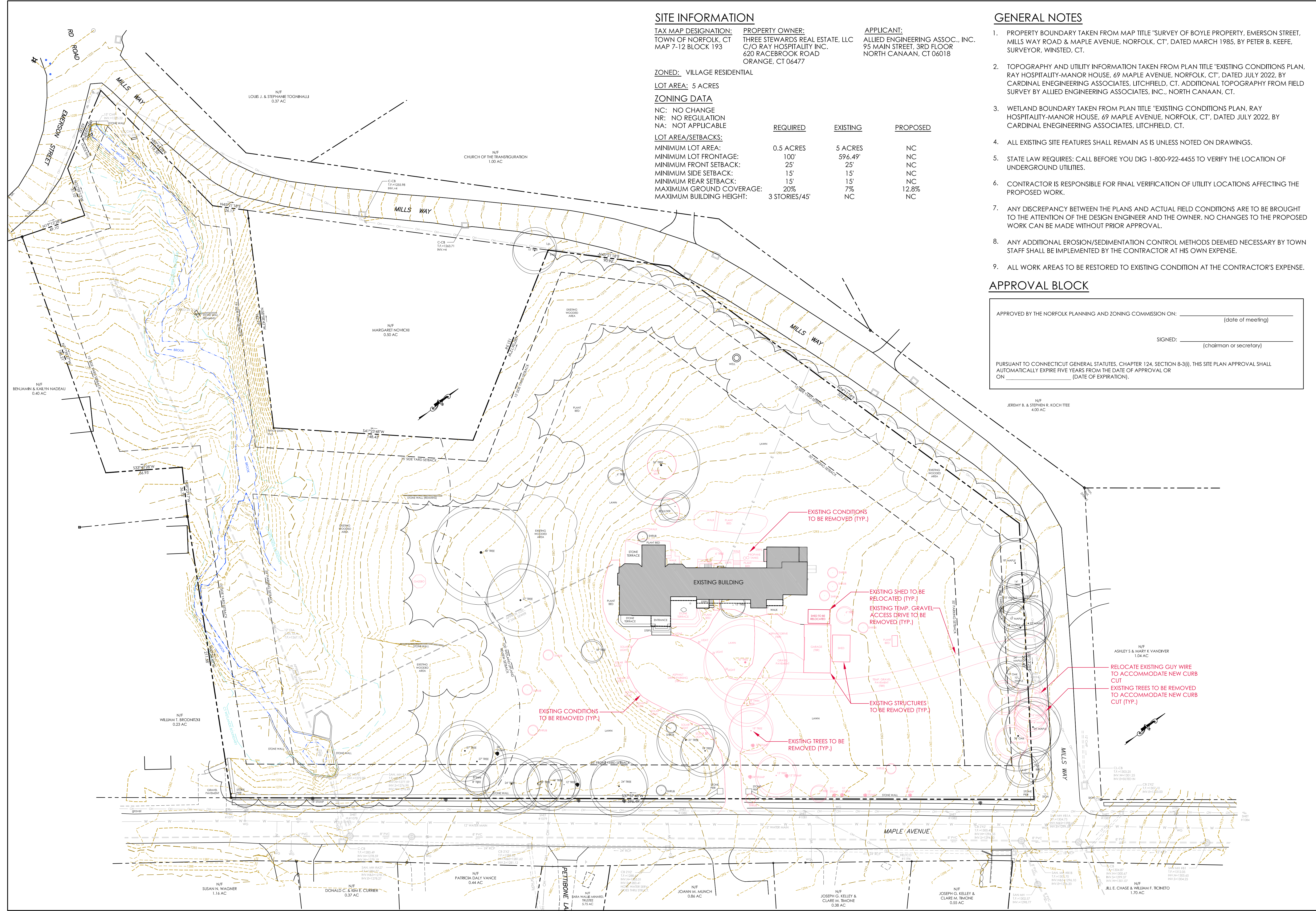
APPROVAL BLOCK

APPROVED BY THE NORFOLK PLANNING AND ZONING COMMISSION ON: _____ (date of meeting)

SIGNED: _____ (chairman or secretary)

PURSUANT TO CONNECTICUT GENERAL STATUTES, CHAPTER 124, SECTION 8-3(I), THIS SITE PLAN APPROVAL SHALL AUTOMATICALLY EXPIRE FIVE YEARS FROM THE DATE OF APPROVAL OR ON _____ (DATE OF EXPIRATION).

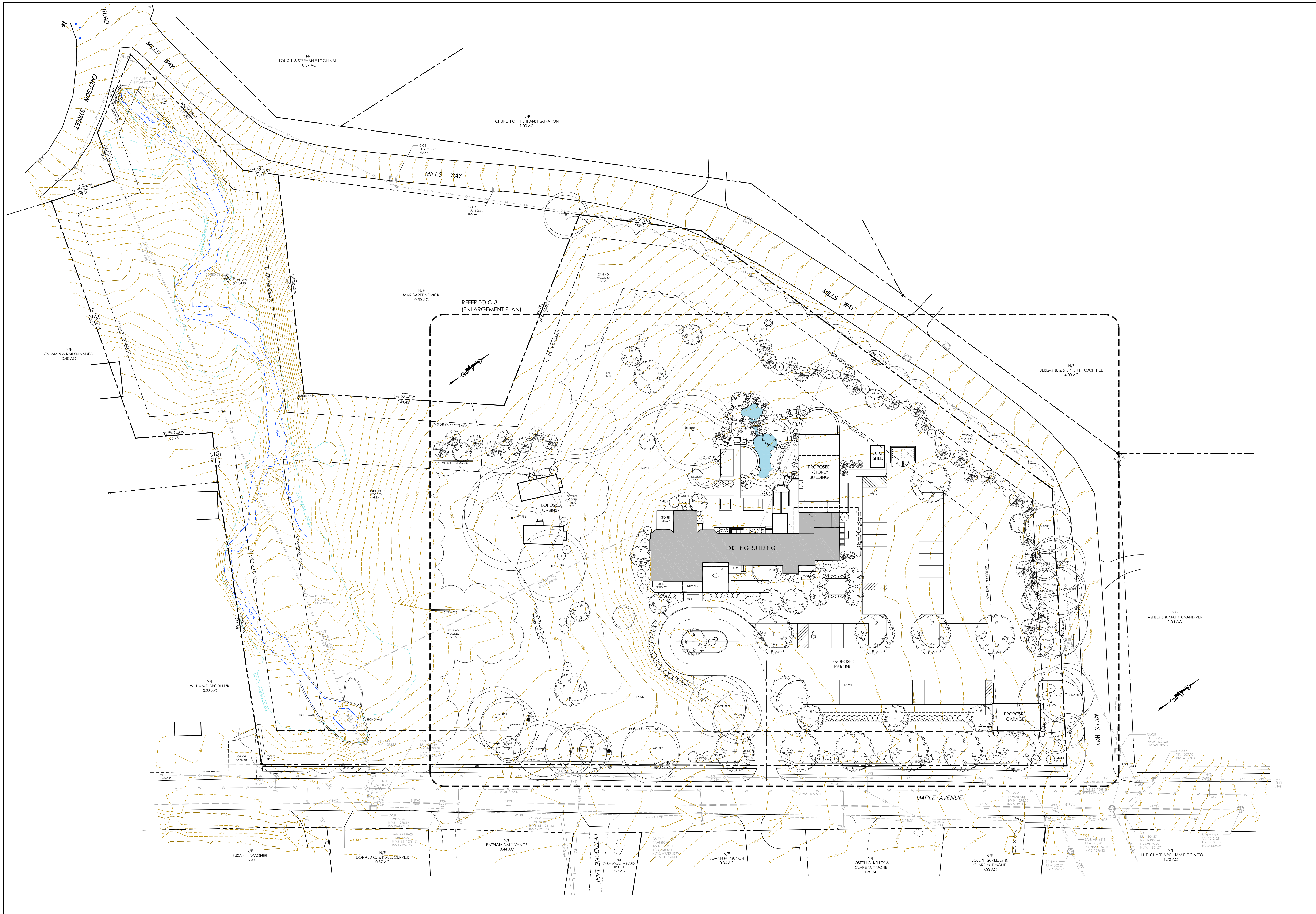
JEREMY B. & STEPHEN R. KOCHTIEE
4.00 AC

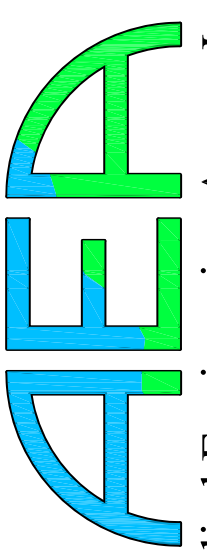


AEA
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North Canaan, CT 06018
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aei.george@gmail.com

MANOR HOUSE INN PROPERTY IMPROVEMENT
EXISTING SITE PLAN
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1"=30'
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-1

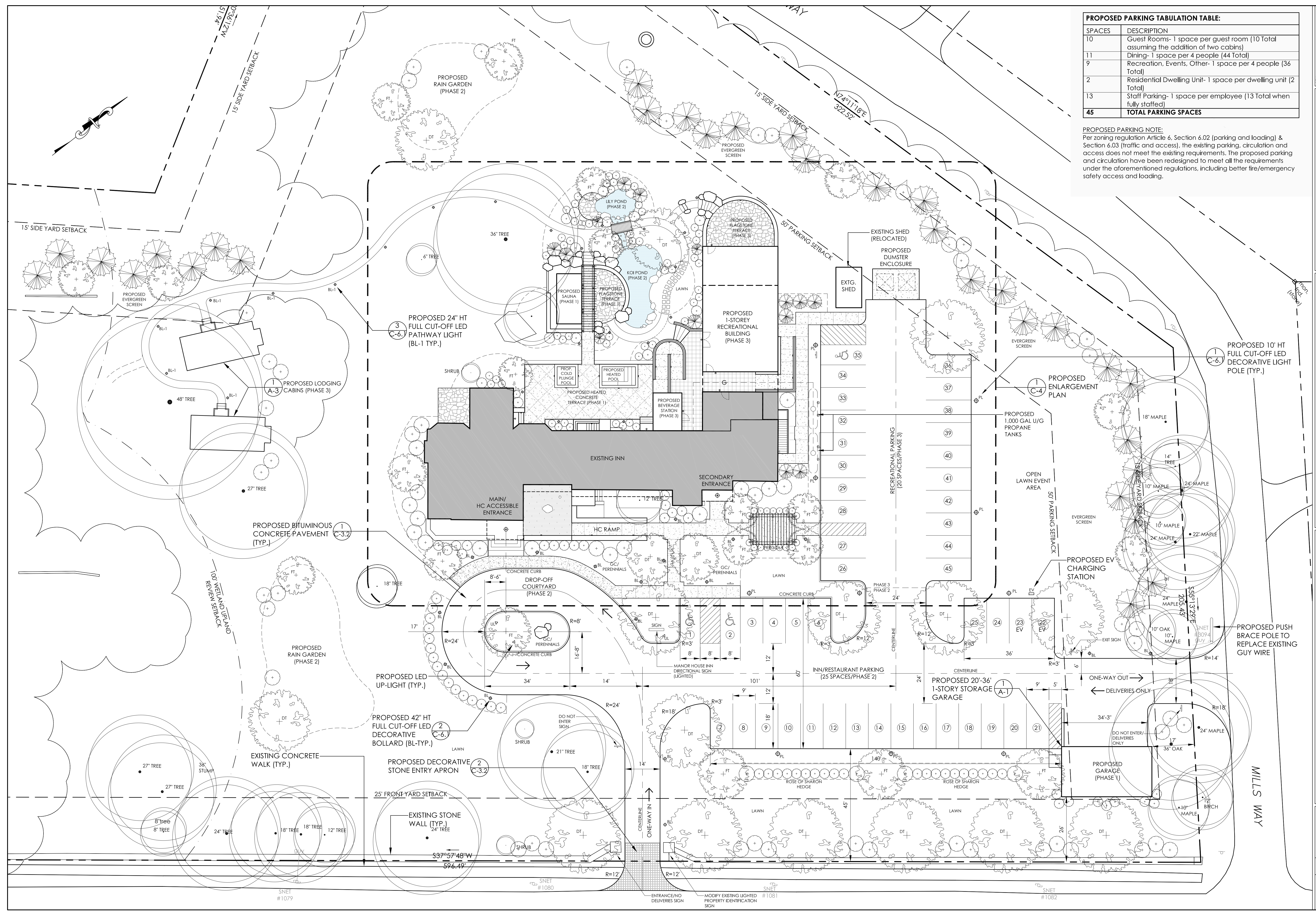



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REVISIONS
 NUMBER - DESCRIPTION - DATE - INITIAL

MAN OF HOUSE INN PROPERTY IMPROVEMENT
PROPOSED OVERALL SITE PLAN
 PREPARED FOR:
RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: 1"=30'
 FILE NAME: 1075-SITE PLAN-1
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-2



PROPOSED PARKING TABULATION TABLE:

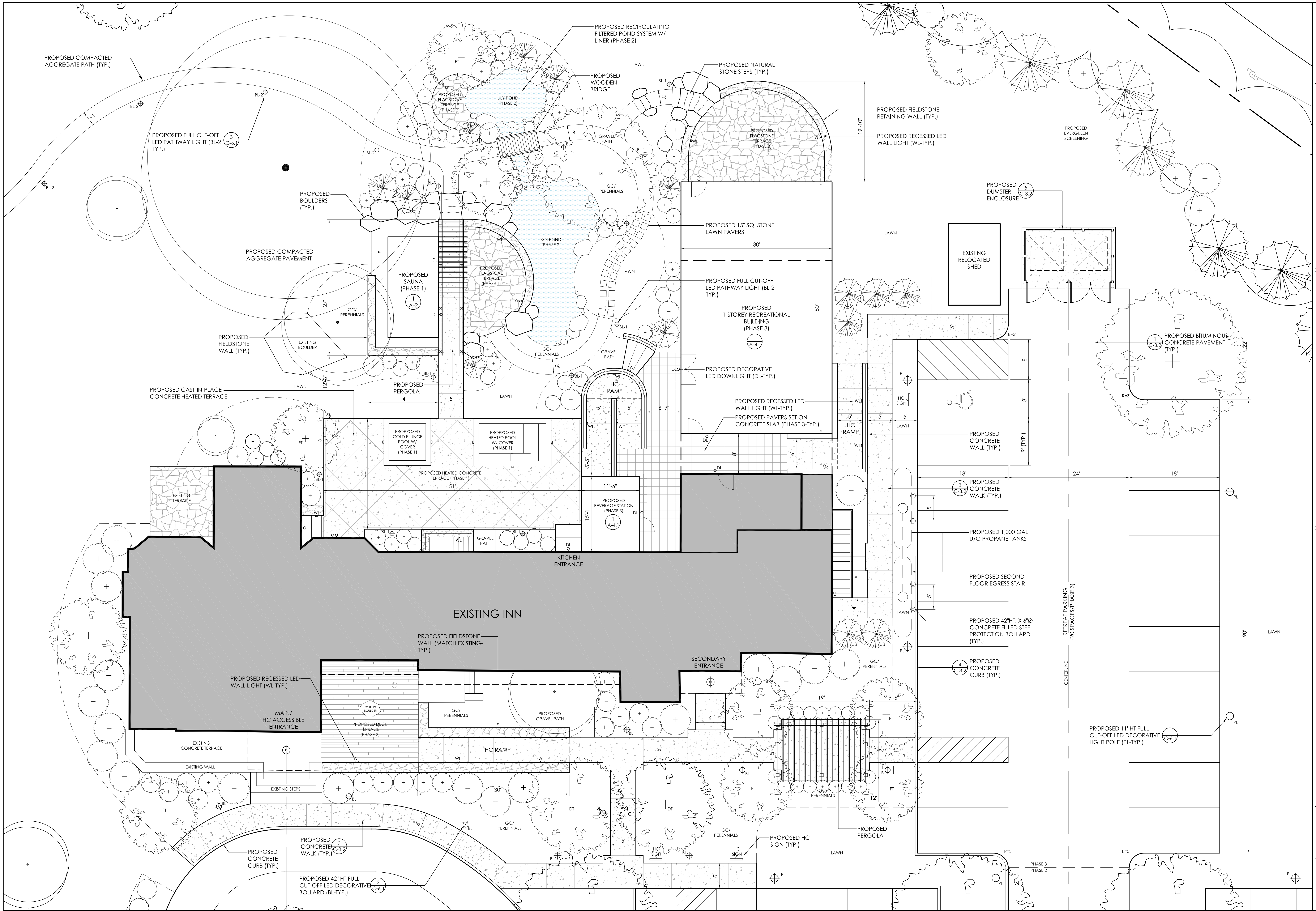
SPACES	DESCRIPTION
10	Guest Rooms- 1 space per guest room (10 Total assuming the addition of two cabins)
11	Dining- 1 space per 4 people (44 Total)
9	Recreation, Events, Other- 1 space per 4 people (36 Total)
2	Residential Dwelling Unit- 1 space per dwelling unit (2 Total)
13	Staff Parking- 1 space per employee (13 Total when fully staffed)
45	TOTAL PARKING SPACES

PROPOSED PARKING NOTE:
 Per zoning regulation Article 6, Section 6.02 (parking and loading) & Section 6.03 (traffic and access), the existing parking, circulation and access does not meet the existing requirements. The proposed parking and circulation have been redesigned to meet all the requirements under the aforementioned regulations, including better fire/emergency safety access and loading.

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MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE LAYOUT PLAN
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: 1"=16'
 FILE NAME: 1075-SITE PLAN-1
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-3

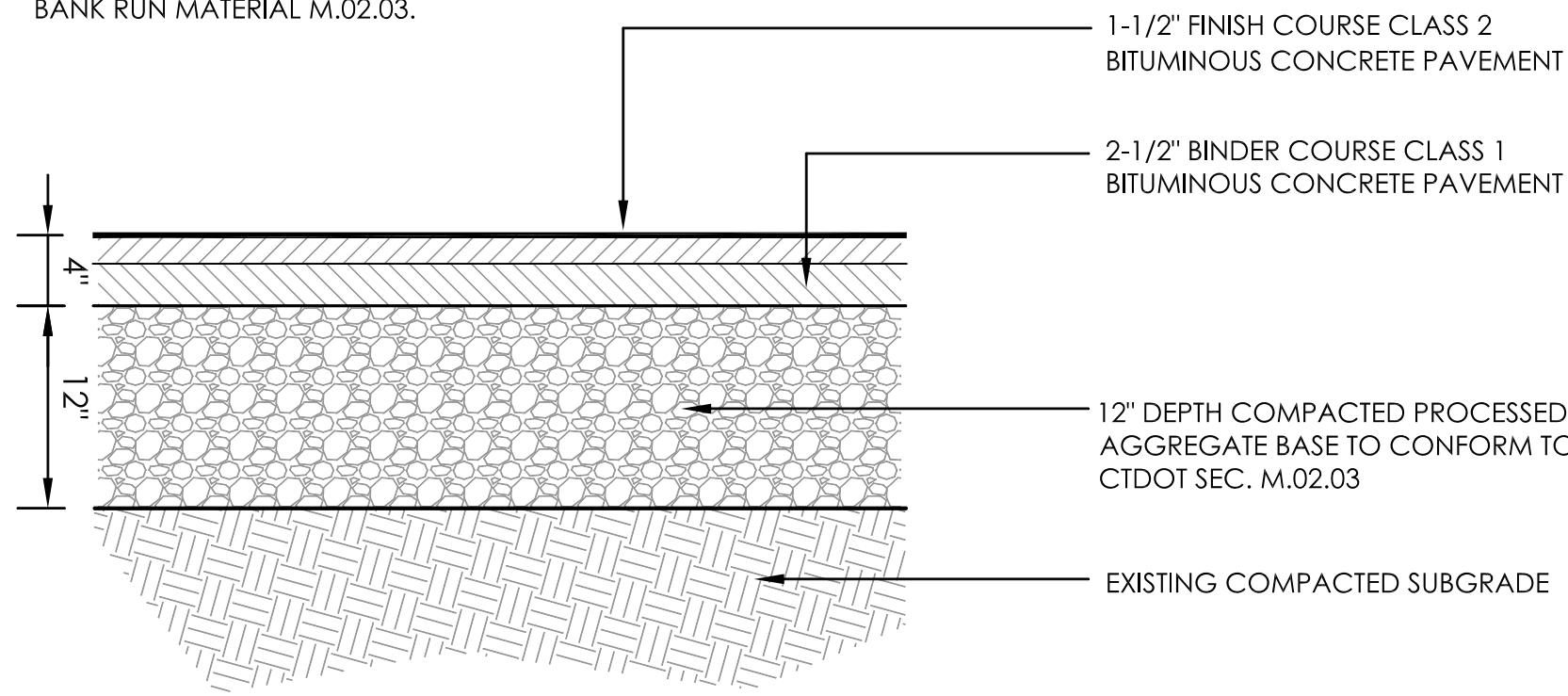


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**MANOR HOUSE INN PROPERTY IMPROVEMENT
 PROPOSED SITE ENLARGEMENT PLAN**
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

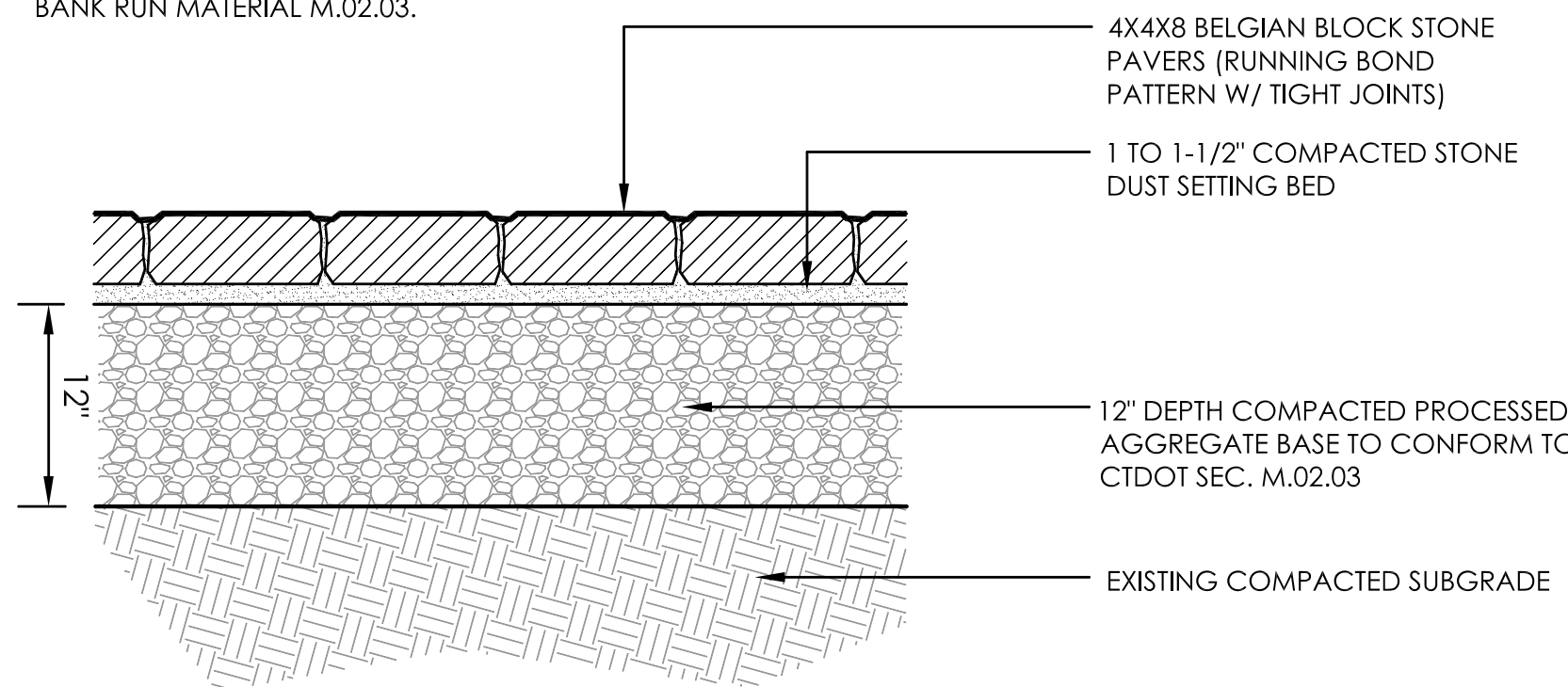
SCALE: 1/8"=1'-0"
 FILE NAME: 1075-SITE PLAN-1
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-3.1

NOTE:
ANY UNSUITABLE MATERIAL DISCOVERED
UNDER PAVEMENT AREAS SHALL BE
REMOVED AND REPLACED WITH COMPACTED
BANK RUN MATERIAL M.02.03.



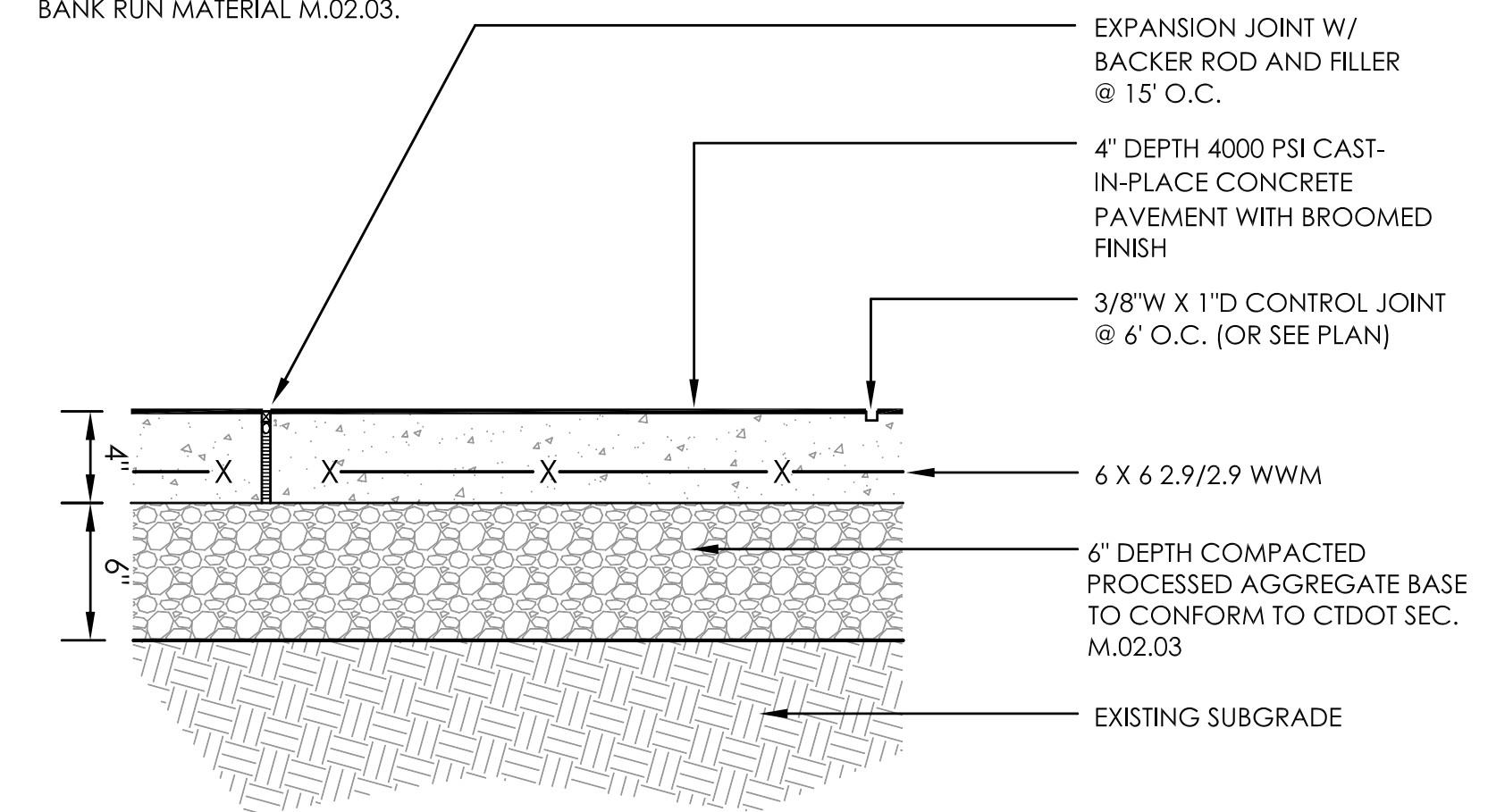
1 BITUMINOUS CONCRETE DRIVEWAY PAVEMENT
C-3.2 NOT TO SCALE

NOTE:
ANY UNSUITABLE MATERIAL DISCOVERED
UNDER PAVEMENT AREAS SHALL BE
REMOVED AND REPLACED WITH COMPACTED
BANK RUN MATERIAL M.02.03.

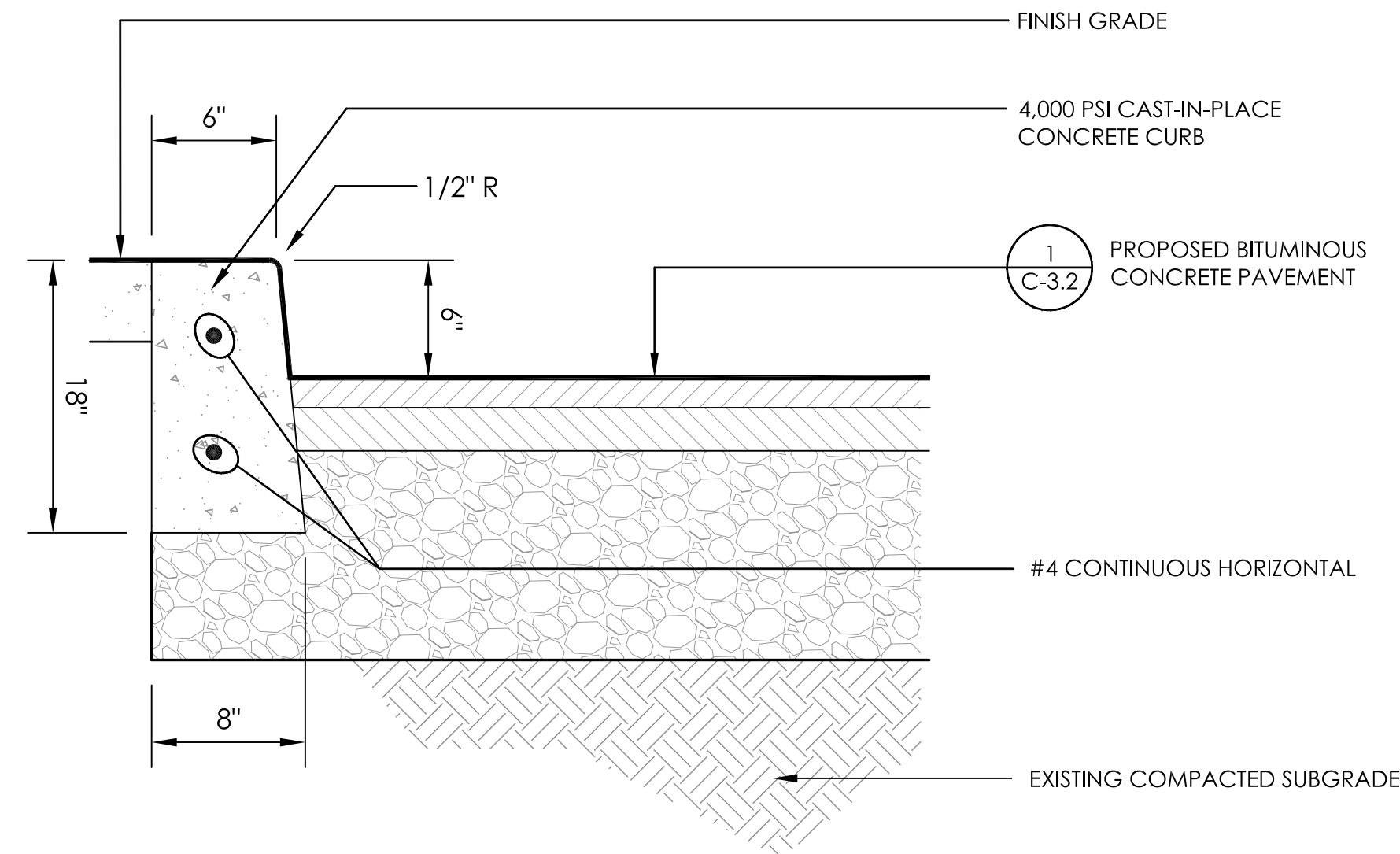


2 BELGIAN BLOCK STONE DRIVEWAY APRON PAVEMENT
C-3.2 NOT TO SCALE

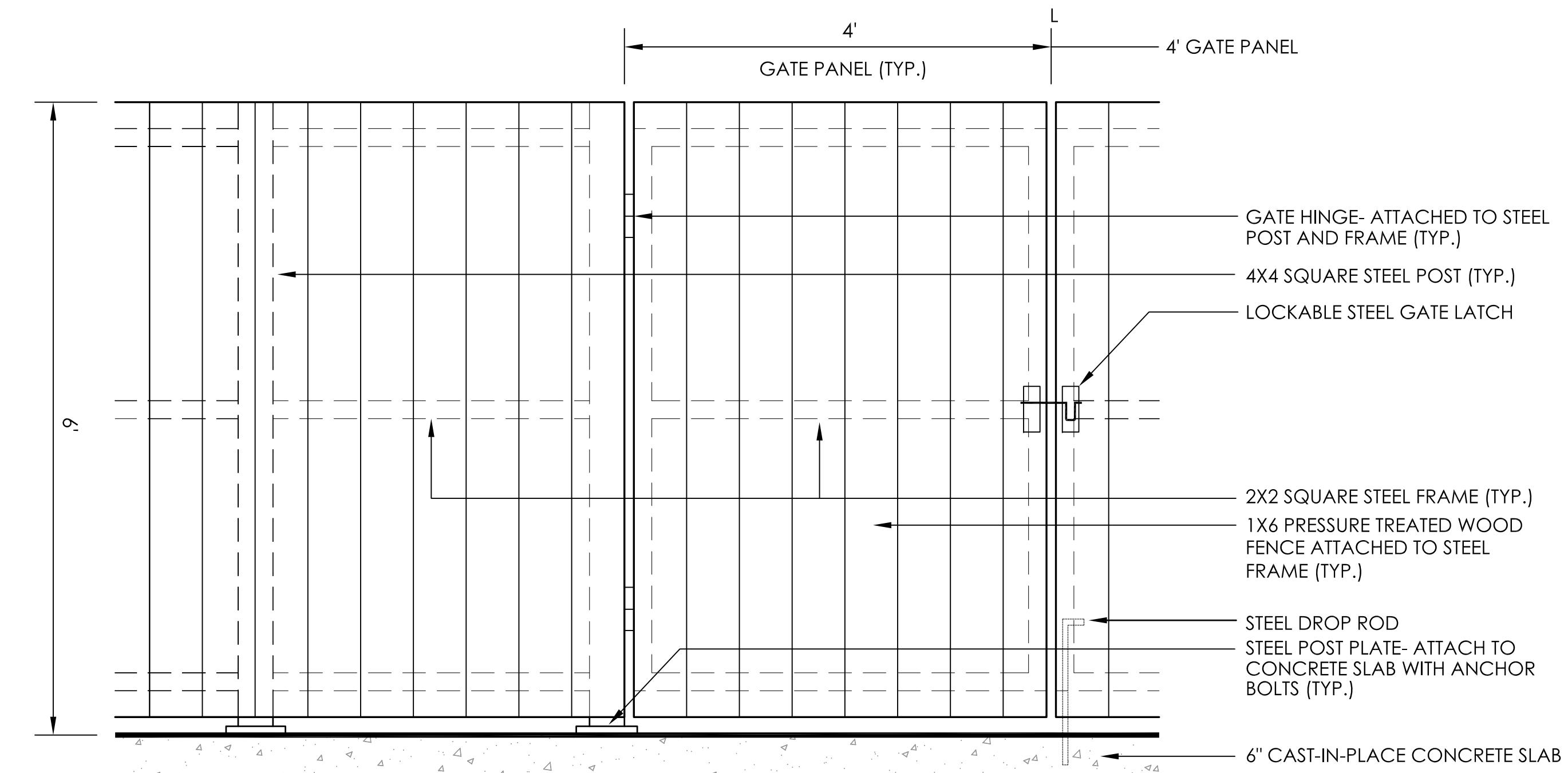
NOTE:
ANY UNSUITABLE MATERIAL DISCOVERED
UNDER PAVEMENT AREAS SHALL BE
REMOVED AND REPLACED WITH COMPACTED
BANK RUN MATERIAL M.02.03.



3 CAST-IN-PLACE CONCRETE WALKWAY PAVEMENT
C-3.2 NOT TO SCALE



4 CAST-IN-PLACE CONCRETE CURB
C-3.2 NOT TO SCALE

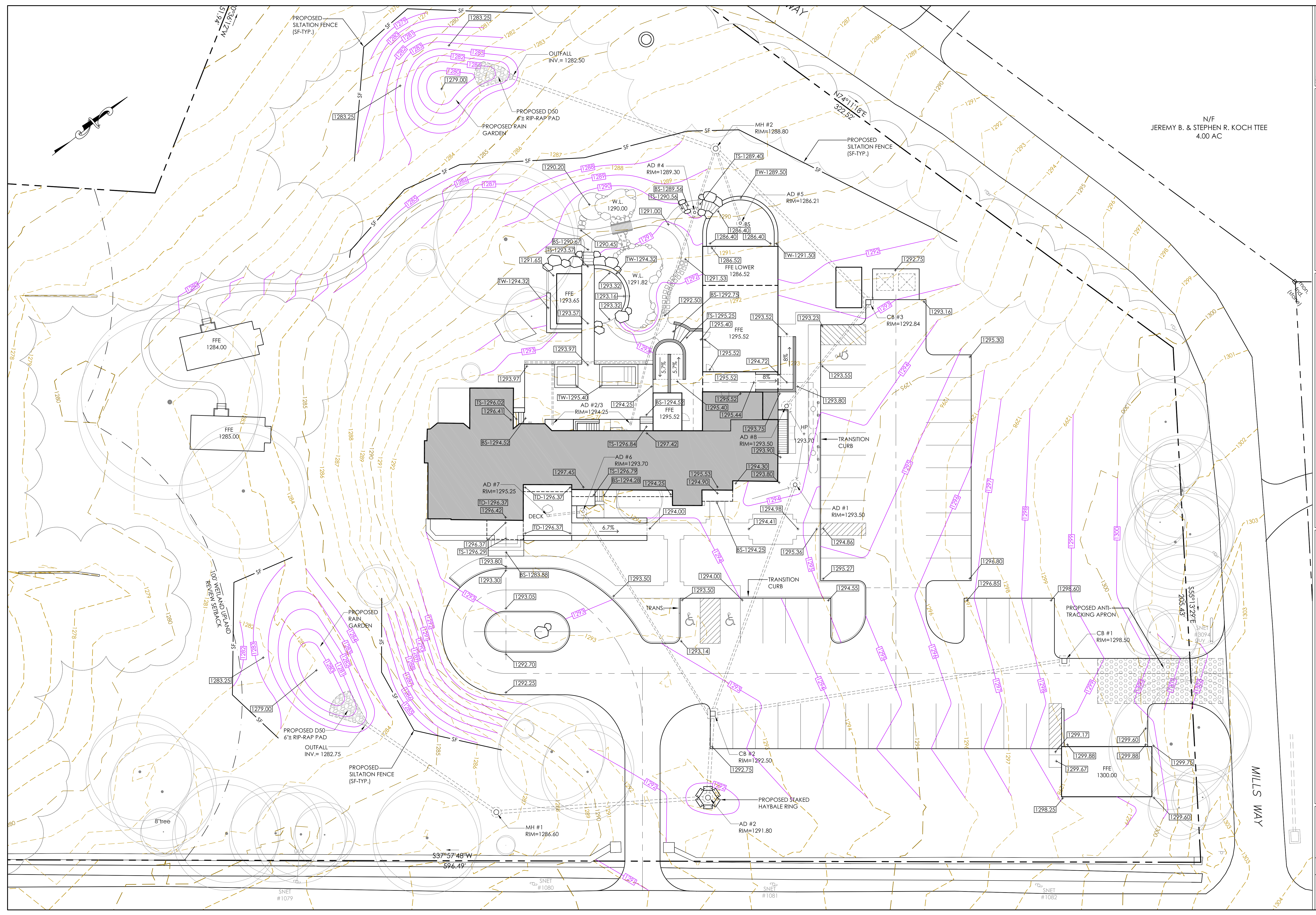


5 PROPOSED DUMPSTER ENCLOSURE DETAIL
C-3.2 NOT TO SCALE

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MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE DETAILS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-3.2

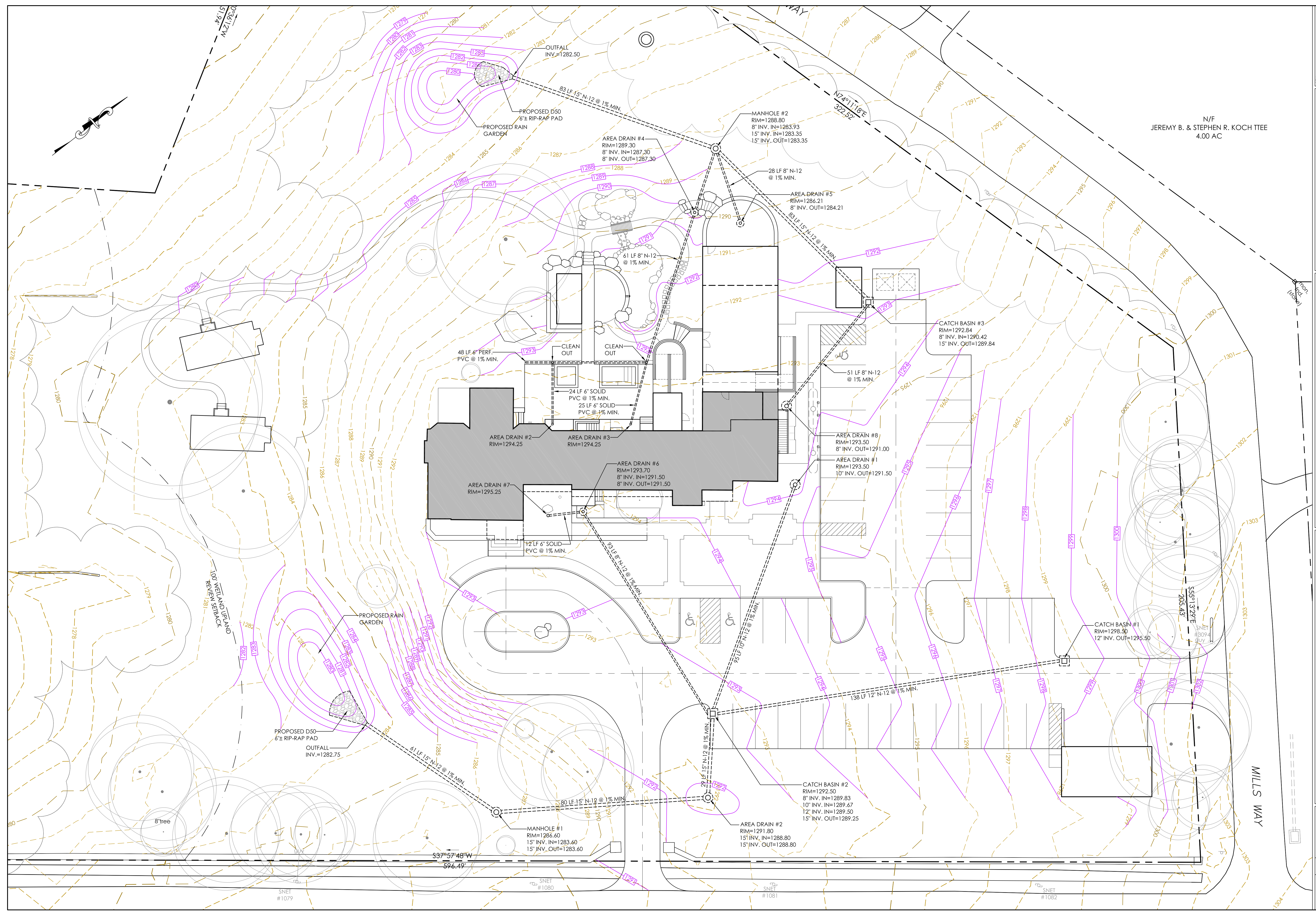


N/F
JEREMY B. & STEPHEN R. KOCH TTEE
4.00 AC

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**MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE GRADING PLAN**
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1"=16'
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-4

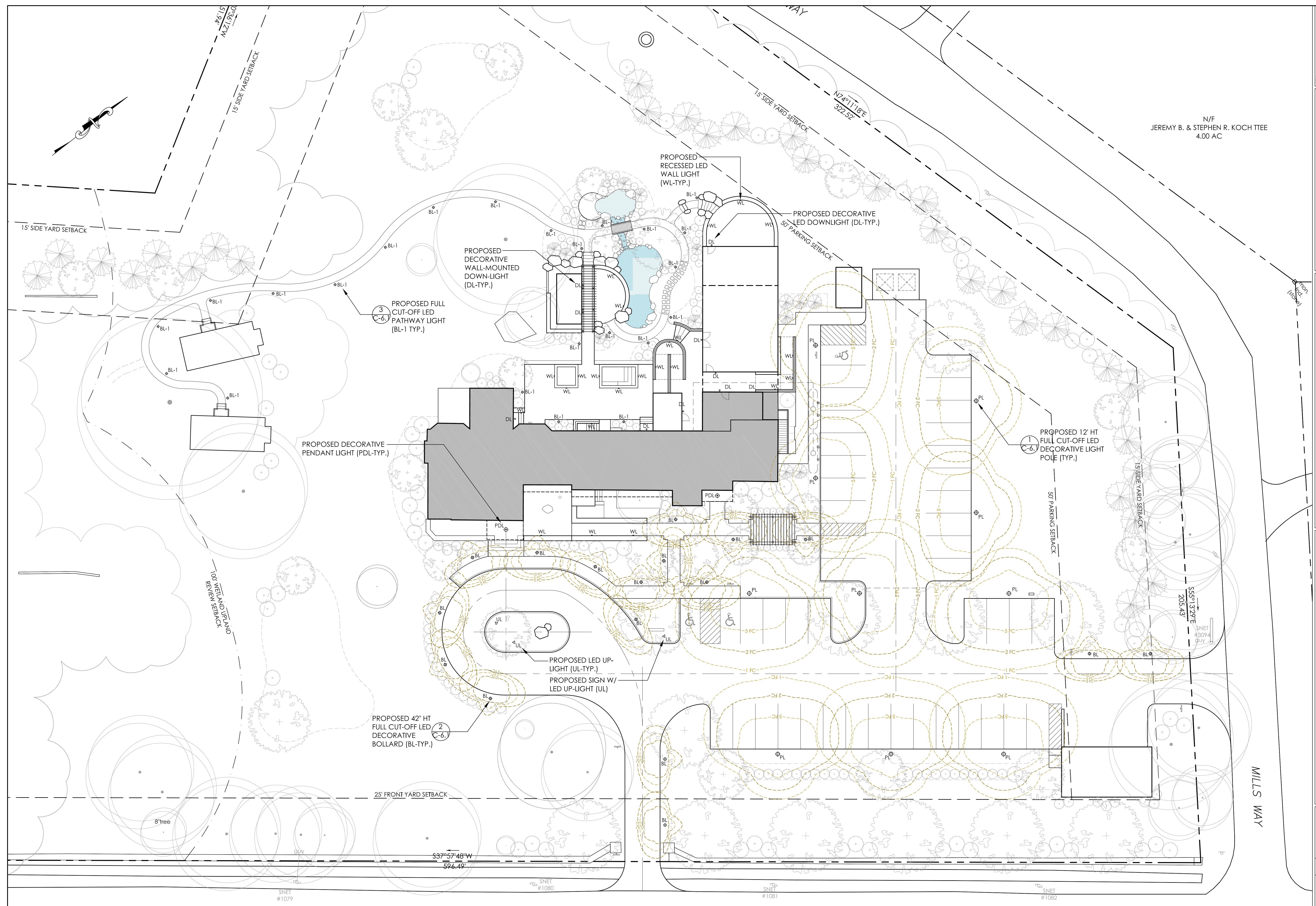


N/F
JEREMY B. & STEPHEN R. KOCH TTEE
4.00 AC

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**MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED DRAINAGE PLAN**
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1"=16'
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-5

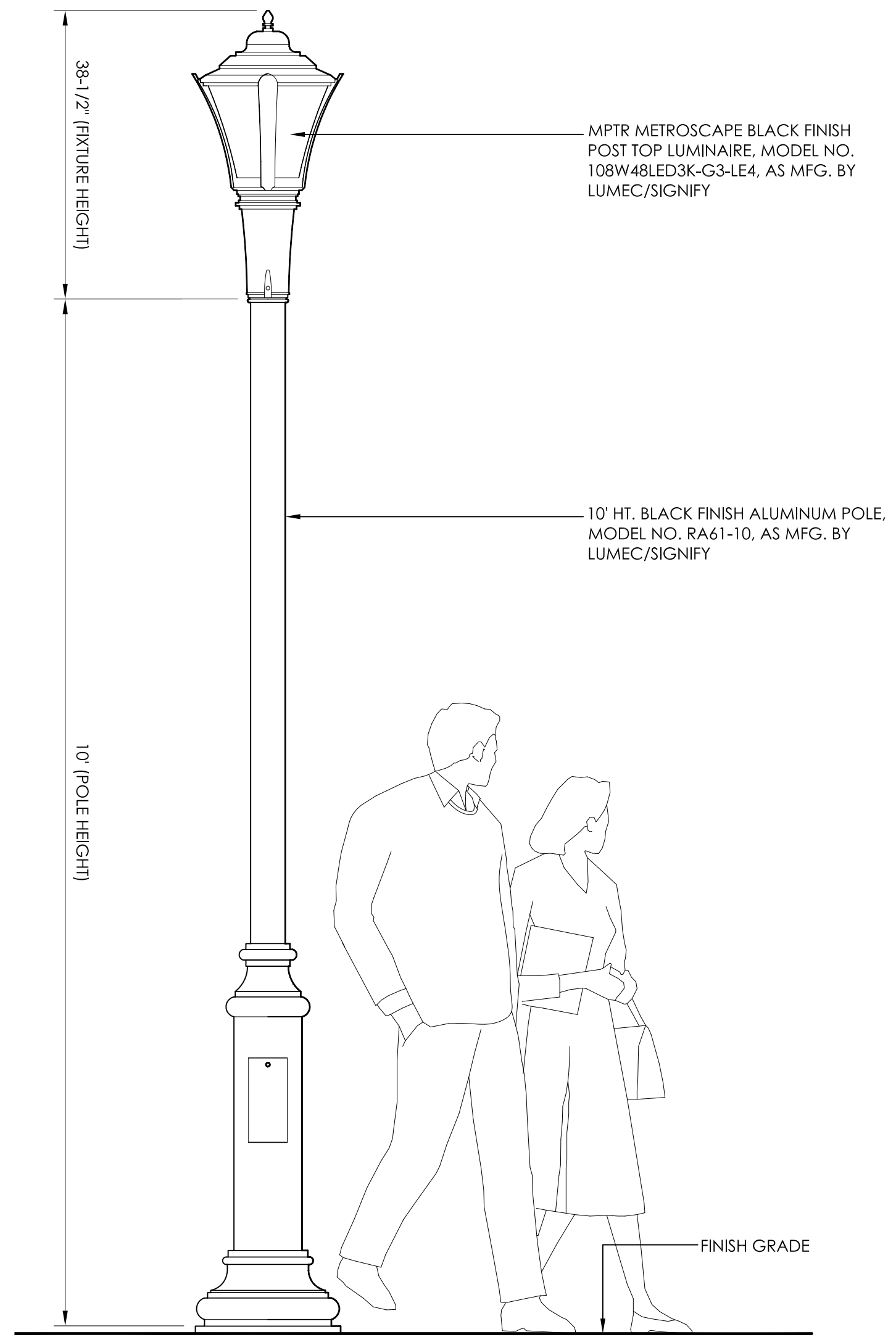


N/F
 JEREMY B. & STEPHEN R. KOCH TTEE
 4.00 AC

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 aeaf.assoc@gmail.com

**MANOR HOUSE INN PROPERTY IMPROVEMENT
 PROPOSED SITE LIGHTING PLAN**
 PREPARED FOR:
 RAY HOSPITALITY, INC.
 69 MAPLE AVENUE
 NORFOLK, CT 06058

SCALE: 1"=16'
 FILE NAME: 1075-SITE PLAN-1
 DATE: DECEMBER 3, 2024
 ISSUED FOR: PERMITTING
 PROJECT NO. 1075
 DRAWING NO. C-6



MetroScape LED luminaires

The Philips Lumec MetroScape LED pendant and post top luminaires are ideal for enhancing the architectural identity of environments with a heritage appeal. Perfectly scaled in both proportion and performance for the demands of various pedestrian and roadway applications, MetroScape provides a consistent style for your entire lighting project. Substantially more energy-efficient than HID luminaires thanks to industry leading LED technology, MetroScape is the right choice for cities and utilities seeking cost-effective, relamping-free outdoor lighting.

Benefits

- Optimal thermal design with placement of the electronic components in the filter to reduce degradation of light output over the lifespan.
- Complete LED luminaire rated IP66 is protected from the elements and ensure optimal photometric performance.
- Flat lens of the luminaire reduces light pollution with 0% uplight.
- Multiple lumen packages.
- Dedicated LED optics (Types 2, 4 and 5 available).
- Color temperatures 4000K and 3000K are available.
- Dimming driver is standard.
- Maximizes energy savings with multiple dimmer options and programmed dimming options.
- Includes Service Tag, Philips innovative way to provide assistance throughout the life of the product. For more details visit philips.com/service-tag.

Post top

Dimensions

EPA: 197 sq ft
Weight: 311 lbs (141 kg)

Lumen range: 2,875-13,528
Wattage range: 37-157
Efficacy range: 69-104

MPTR MetroScape post top urban luminaire

Dimensions

Motion Response* (must be ordered as a separate item) Example: ACC-120-MR4PGI-BKTX

Series	Voltage	Motion Response module	Finish
ACC	120	MR4PGI	Single grey
ACC	277	MR4PGI	Double grey
ACC	277	MR4PW1	Single white
ACC	277	MR4PW2	Double white

*OVR option is required for Motion Response Accessory

LED Wattage and Lumen Values for 3000K & 4000K fixtures

Ordering Code	System LEDs	Current (mA)	Average System Watts (W)	LE2			LE3			LE3W			LE4			LE5		
				Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating	Lumen Output	Efficacy (L/PW)	BUG Rating
MPTR 3000K																		
35W32LED3K-G2	32	350	37	2875	77.7	BI-UO-G1	2895	78.2	BI-UO-G1	2948	79.7	BI-UO-G1	2893	78.2	BI-UO-G1	3107	84.0	BI-UO-G1
55W32LED3K-G2	32	530	56	4124	73.8	BI-UO-G1	4152	74.3	BI-UO-G1	4228	75.6	BI-UO-G1	4149	74.2	BI-UO-G1	4457	79.7	BI-UO-G1
72W32LED3K-G2	32	700	70	5201	74.0	BI-UO-G1	5237	74.5	BI-UO-G1	5333	75.9	BI-UO-G2	5233	74.4	BI-UO-G2	5621	80.0	BI-UO-G1
97W32LED3K-G2	32	1050	104	7172	68.8	BI-UO-G1	7221	69.2	BI-UO-G2	7353	70.5	BI-UO-G2	7216	69.2	BI-UO-G2	7751	74.3	BI-UO-G2
55W48LED3K-G2	48	350	54	4313	79.3	BI-UO-G1	4342	79.8	BI-UO-G1	4422	81.3	BI-UO-G1	4339	79.8	BI-UO-G1	4661	85.7	BI-UO-G1
80W48LED3K-G2	48	530	81	6186	76.1	BI-UO-G1	6229	76.6	BI-UO-G2	6342	78.0	BI-UO-G2	6224	76.6	BI-UO-G2	6686	82.2	BI-UO-G2
108W48LED3K-G2	48	700	105	7802	74.0	BI-UO-G1	7855	74.5	BI-UO-G2	7959	75.9	BI-UO-G2	7850	74.5	BI-UO-G2	8432	80.0	BI-UO-G2
140W48LED3K-G2	48	1050	157	10758	68.7	BI-UO-G2	10832	69.2	BI-UO-G2	10930	70.5	BI-UO-G2	10824	69.2	BI-UO-G2	11627	74.3	BI-UO-G2
70W96LED3K-G2	64	350	73	5750	78.8	BI-UO-G1	5790	79.3	BI-UO-G1	5896	80.8	BI-UO-G2	5785	79.2	BI-UO-G2	6215	85.1	BI-UO-G1
110W96LED3K-G2	64	530	105	8248	78.6	BI-UO-G2	8305	79.1	BI-UO-G2	8457	80.5	BI-UO-G2	8299	79.0	BI-UO-G2	8914	84.9	BI-UO-G2
90W96LED3K-G2	80	350	91	7188	79.3	BI-UO-G1	7237	79.8	BI-UO-G2	7370	81.3	BI-UO-G2	7232	79.7	BI-UO-G2	7768	85.6	BI-UO-G2
135W96LED3K-G2	80	530	136	10330	76.1	BI-UO-G2	10381	76.6	BI-UO-G2	10571	78.0	BI-UO-G2	10373	76.6	BI-UO-G2	11143	82.2	BI-UO-G2
MPTR 4000K																		
35W32LED4K-G2	32	350	37	3462	93.6	BI-UO-G1	3624	97.9	BI-UO-G1	3610	97.6	BI-UO-G1	3650	98.6	BI-UO-G1	3695	99.9	BI-UO-G1
55W32LED4K-G2	32	530	56	4966	88.8	BI-UO-G1	5198	93.0	BI-UO-G1	5178	92.6	BI-UO-G2	5235	93.6	BI-UO-G2	5300	94.8	BI-UO-G1
72W32LED4K-G2	32	700	70	6263	89.1	BI-UO-G1	6556	93.3	BI-UO-G2	6531	92.9	BI-UO-G2	6603	93.9	BI-UO-G2	6884	95.1	BI-UO-G2
97W32LED4K-G2	32	1050	104	8636	82.8	BI-UO-G2	9040	86.7	BI-UO-G2	9005	86.3	BI-UO-G2	9105	87.3	BI-UO-G2	9217	88.4	BI-UO-G2
55W48LED4K-G2	48	350	54	5255	96.5	BI-UO-G1	5349	98.3	BI-UO-G1	5422	99.7	BI-UO-G2	5362	98.6	BI-UO-G2	5659	104.0	BI-UO-G1
80W48LED4K-G2	48	530	81	7538	92.7	BI-UO-G1	7873	94.4	BI-UO-G2	7777	95.7	BI-UO-G2	7891	94.6	BI-UO-G2	8177	99.8	BI-UO-G2
108W48LED4K-G2	48	700	105	9507	90.2	BI-UO-G2	9677	91.8	BI-UO-G2	9808	93.1	BI-UO-G2	9700	92.0	BI-UO-G2	10237	97.1	BI-UO-G2
140W48LED4K-G2	48	1050	157	13109	83.8	BI-UO-G2	13344	85.3	BI-UO-G2	13525	86.4	BI-UO-G2	13376	85.5	BI-UO-G2	14116	90.2	BI-UO-G2
70W96LED4K-G2	64	350	73	7007	96.0	BI-UO-G1	7132	97.7	BI-UO-G2	7229	99.0	BI-UO-G2	7150	97.9	BI-UO-G2	7545	103.4	BI-UO-G2
110W96LED4K-G2	64	530	105	10050	95.7	BI-UO-G2	10231	97.4	BI-UO-G2	10369	98.8	BI-UO-G2	10255	97.7	BI-UO-G2	10822	103.1	BI-UO-G2
90W96LED4K-G2	80	350	91	8759	96.6	BI-UO-G2	8916	98.3	BI-UO-G2	9036	99.6	BI-UO-G2	8937	98.5	BI-UO-G2	9431	104.0	BI-UO-G2
135W96LED4K-G2	80	530	136	12563	92.7	BI-UO-G2	12788	94.4	BI-UO-G2	12962	95.7	BI-UO-G2	12819	94.6	BI-UO-G2	13528	99.8	BI-UO-G2

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt depreciation, light loss factor, etc. Highly recommended to confirm performance with a layout - contact Applications at signify.com/outdoorluminaires. Note: Some data may be scaled based on tests of similar, but not identical luminaires.

MPTR MetroScape-MPTR-spec 07/20 page 2 of 5

1 POLE-MOUNTED LED FULL CUT-OFF LIGHT FIXTURE (PL)
C-6.1 NOT TO SCALE

Bollard PBL

Intelligent optical design

IES Type 3 and 5 distributions allow for excellent uniformity and optimal spacing. High performance optical system designed to achieve wide spacings and full cutoff performance.

Emergency battery backup

Optional emergency battery back up is integral to the luminaire.

Multiple height options

Available in 36", 42" or 60" to achieve desired performance or aesthetics.

Multiple finish options

Black, white, bronze, dark gray and medium gray textured finish options available, see p. 29.

Optional integral motion sensor

Integral to the luminaire. Offers energy savings and can enhance sense of security.

Height options: 36" 42" 60"

Lumen output: 500-4,200 lumens

Efficacy: 72-100 LPW

Color temperature: Amber, 2700K, 3000K, 3500K, 4000K, 5000K

Optical distributions: Type 3, 5

Emergency: Optional emergency battery backup

Prior to ordering, consult specification sheets on lightingproducts.signify.com for the most current information, notes, and exclusions.

Weight: 36" - 16 lbs (7.5 kg)
42" - 18 lbs (8.2 kg)
60" - 22 lbs (9.9 kg)

9" dia (23.8 cm)
4.9" dia (12.4 cm)
36"/42"/60" (913 cm/106.6 cm/152.3 cm)
9" (22.7 cm)

2 42" HT. LED FULL CUT-OFF BOLLARD LIGHT FIXTURE (BL)
C-6.2 NOT TO SCALE

12V Integrated LED Shallow Shade Path Lights

New design and technology.

Redesigned and reimaged, our new shallow shade path lights offer an integrated LED light source and streamlined design. Fully sealed to safeguard from water ingress and outdoor elements, these path lights are certified through an independent 3rd party lab - continuing to deliver the quality, reliability, and style you've come to appreciate from Kichler.

12V integrated LED shallow shade path lights are designed to deliver the quality, reliability, and style we're known for.

- Contemporary design to blend in seamlessly with nature while spotlighting the surrounding style. Sleek and minimal, it's the perfect look for nearly all applications.
- Versatile IP66 rated design provides a dust and water tight housing that can protect against strong jets of water that can occur in coastal areas with zoning systems or applications close to sprinklers.
- Fully sealed to safeguard from water ingress and outdoor elements - helping to extend the life of the product.
- 2,000-volt system surge protection protects against power surges and regulates them when paired with one of our transformers.

PRODUCT ORDERING GUIDE

Ordering Guide (product number breakdown)

1 Item Number for Fixture & Beam Angle:
1619 = Small Shallow Shade
1617 = Large Shallow Shade

2 Product Finish:
BKT = Textured Black

3 Color Temperature:
27 = 2700K Warm White
30 = 3000K Pure White

Example: 1619BKT30

6" Shade	16196BKT27	16196BKT30
	2700K - Warm White	3000K - Pure White
8" Shade	16197BKT27	16197BKT30
	2700K - Warm White	3000K - Pure White

PRODUCT CONSTRUCTION

Ribbed gasket
LED light board
Polycarbonate lens
Solid aluminum construction

PHOTOMETRICS

Foot-candle (FC)	Distance from Light								
	0'	1ft.	2ft.	3ft.	4ft.	5ft.	6ft.	7ft.	8ft.
16196 - Small Shallow Shade	7.6	4.8	4.3	3.8	3.4	3.0	2.8	2.6	2.5
16197 - Large Shallow Shade	7.6	4.8	4.3	3.8	3.4	3.0	2.8	2.6	2.5

3 24" HT. LED FULL CUT-OFF PATHWAY LIGHT FIXTURE (BL-1)
C-6.2 NOT TO SCALE

LED Shallow Shade Path Lights

Additional Specs

DIMENSIONS

16196 6" Small Shallow Shade
16197 8" Large Shallow Shade

PERFORMANCE

	16196 - Small	16197 - Large
Fixture Lumen Output	2700K: 180m 3000K: 180m	2700K: 180m 3000K: 180m
Input Voltage	9V-36V	9V-36V
Power (VA) @ 12V AC	5.8VA	5.8VA
Power (W) @ 12V AC	2W	2W
Efficacy (lm/W @ DC)	2700K: 94 lm/w 3000K: 95 lm/w	2700K: 94 lm/w 3000K: 95 lm/w

FINISH OPTIONS

BKT - Textured Black

INCLUDED ACCESSORIES

8" slotted ground stake, gal-ffed wire nuts
Required Landscape Transformer, 12 gauge wire

OPTIONAL ACCESSORIES

16196BKT - Surface Mounting Flange
16197BKT - Surface Mounting Bracket
1576 - 1/4" Stake
1526 - Power Post

LOAD CHART

Power (VA)	10 AWG	12 AWG	14 AWG	16 AWG
6-20 VA	80/124 m	115/173 m	170/273 m	450/117 m
40 VA	83/123 m	116/172 m	171/272 m	220/120 m
60 VA	82/119 m	115/119 m	147/173 m	150/146 m
80 VA	47/113 m	280/88 m	180/55 m	110/34 m
100 VA	37/113 m	230/70 m	140/43 m	90/27 m

MECHANICAL & HOUSING SPECIFICATION

Length/Width/Height: 16196: 6" W x 6.5" D x 24" H
16197: 8" W x 8.5" D x 24" H
Weight: 16196: Aluminum: 1.6 lbs
16197: Aluminum: 2.2 lbs

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SITE LIGHTING DETAILS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: NOT TO SCALE
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO: 1075
DRAWING NO: C-6.1

AEAA
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PLANT SCHEDULE (REFER TO C-7)

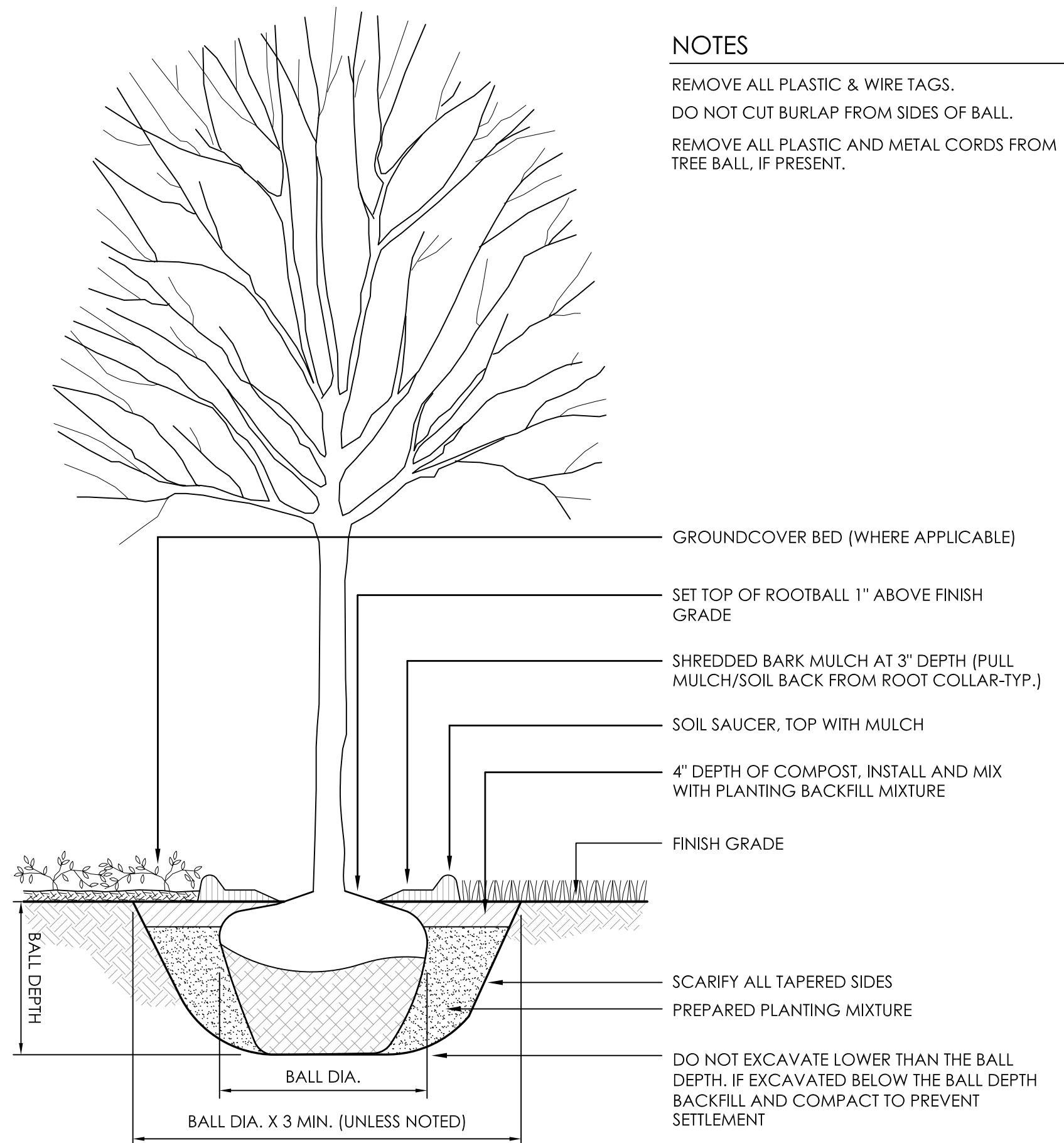
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES						
AF	6	ACER x FRREMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	3"-3 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
AS	2	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3"-3 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
BN	2	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	3"-3 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
NS	1	NYSSA SYLVATICA	BLACK GUM	2 1/2"-3" CALIPER	B&B	FULL AND EXTRA HEAVY; STRAIGHT LEADER
QR	4	QUERCUS COCCINEA	SCARLET OAK	3"-3 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
SA	2	SALIX ALBA 'NIOBE'	GOLDEN WEEPING WILLOW	3"-3 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
FLOWERING TREES						
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	2"-2 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
CF	3	CORNUS FLORIDA 'CHEROKEE BRAVE'	CHEROKEE BRAVE FLOWERING DOGWOOD	2"-2 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY; MATCHING
CV	1	CHIONANTHUS VIRGINICUS	FRINGE TREE	2"-2 1/2" CALIPER	B&B	FULL AND EXTRA HEAVY
MS	1	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	6'-7' HT.	B&B	FULL AND EXTRA HEAVY; SPECIMEN
MV	1	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	8'-10' HT.	B&B	FULL AND EXTRA HEAVY
SA-1	2	SORBUS AMERICANA	AMERICAN MOUNTAIN ASH	6'-7' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
SJ	3	STYRAX JAPONICUS	JAPANESE SNOWBELL	8'-10' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; MULT-STEM
SR	4	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE TREE LILAC	8'-10' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; MULT-STEM
EVERGREEN TREES						
AC	9	ABIES CONCOLOR	WHITE FIR	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.
PA	9	PICEA ABIES	NORWAY SPRUCE	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.
PP	4	PICEA PUNGENS	COLORADO SPRUCE	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.
TC	8	TSUGA CANADENSIS	EASTERN HEMLOCK	7'-8' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; UNSHEARED 2 YRS.
TO	6	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	5'-6' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
SHRUBS						
AC-1	6	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	5'-6' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
AD	9	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	18"-24" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING
AP	5	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	5'-6' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
AT	11	AZALEA 'TRADITION'	TRADITION PINK AZALEA	18"-24" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING
CA	5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	18"-24" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING
CF-1	3	CALYCANTHUS FLORIDUS	CAROLINA ALLSPICE	24"-30" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
CR	5	COTINUS COGGYGRIA 'ROYAL PURPLE'	ROYAL PURPLE SMOKETREE	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
HL	3	HIBISCUS SYRIACUS 'LUCY'	LUCY ROSE OF SHARON	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
HP	18	HYDRANGEA PANICULATA 'PHANTOM'	PHANTOM HYDRANGEA	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
HP-1	16	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	14"-18" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING; HEDGE
HS	20	HIBISCUS SYRIACUS 'PURPLE PILLAR'	PURPLE PILLAR ROSE OF SHARON	42"-48" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING; HEDGE
IG	18	ILEX GLABRA 'GEM BOX'	GEM BOX INKBERRY	12"-14" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING; HEDGE
KL	8	KALMIA LATIFOLIA	MOUNTAIN LAUREL	36"-42" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
PO	3	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	SUMMER WINE NINEBARK	24"-30" HT.	CONT.	FULL AND EXTRA HEAVY; MATCHING
SP	7	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	4'-5' HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
VC	2	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	24"-30" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
VD	4	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING
WF	3	WEIGELA FLORIDA 'WINE AND ROSE'	WINE AND ROSE WEIGELA	30"-36" HT.	B&B	FULL AND EXTRA HEAVY; MATCHING

RAIN GARDEN PLANT MATERIAL

BOTANICAL NAME	COMMON NAME
BASIN BOTTOM ZONE	
IRIS VERSICOLOR	BLUE FLAG IRIS
MIMULUS RINGENS	MONKEY FLOWER
VERBENA HASTATA	SWAMP VERBENA
LOBELIA CARDINALIS	CARDINAL FLOWER
MIDDLE SLOPE ZONE	
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER
EUTROCHIUM PURPUREUM	JOE PYE WEED
LIATRIS SPICATA	BLAZING STAR
UPPER EDGE ZONE	
PHYSOCARPUS OPULIFOLIUS	SUMMER WINE NINEBARK
SALIX PURPUREA 'NANA'	PURPLE-LEAVED WILLOW
ITEA VIRGINICA	VIRGINIA SWEETSPIRE
GROUND COVER LAYER	
GERANIUM MACULATUM	WILD GERANIUM
TIARELLA CORDIFOLIA 'SPRING SYMPHONY'	FOAM FLOWER
PHILOX STOLONIFERA	CREEPING PHLOX
ASARUM CANADENSE	WILD GINGER
VIOLA SORORIA	VIOLETS

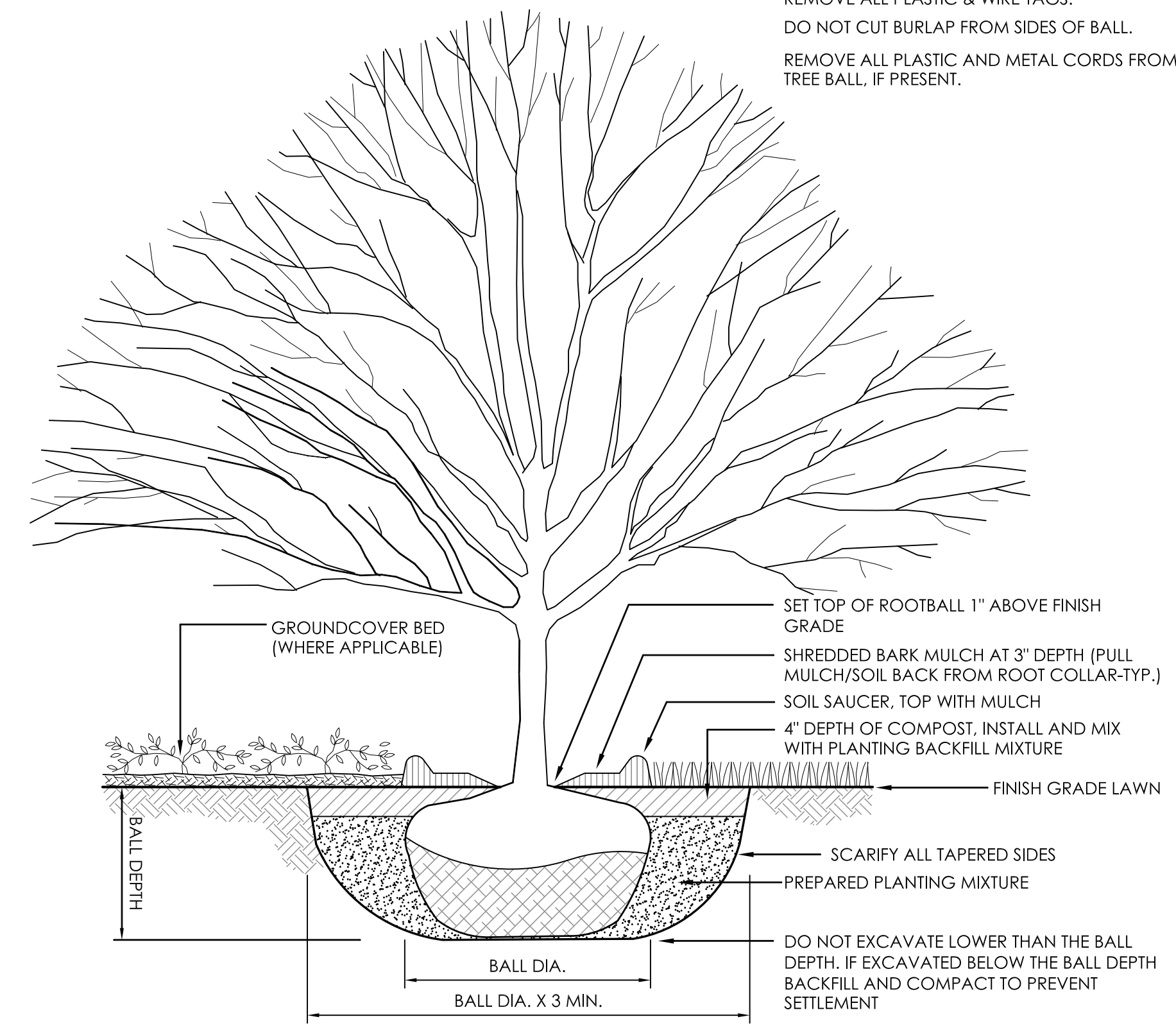
PLANTING NOTES

1. ALL PLANT MATERIAL MUST CONFORM TO THE REQUIREMENTS OF THE PLANTING SCHEDULE AND STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. ALL PLANT MATERIAL MUST BE APPROVED AT THE NURSERY SOURCE BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. PROTECT ALL EXISTING VEGETATION ADJACENT TO CONSTRUCTION OPERATIONS. CARE SHOULD BE TAKEN TO ENSURE THAT SOIL CONTAINING TREE ROOTS IS NOT COMPACTED.
4. REFER TO SHEET C-7 FOR PLANTING PLAN.



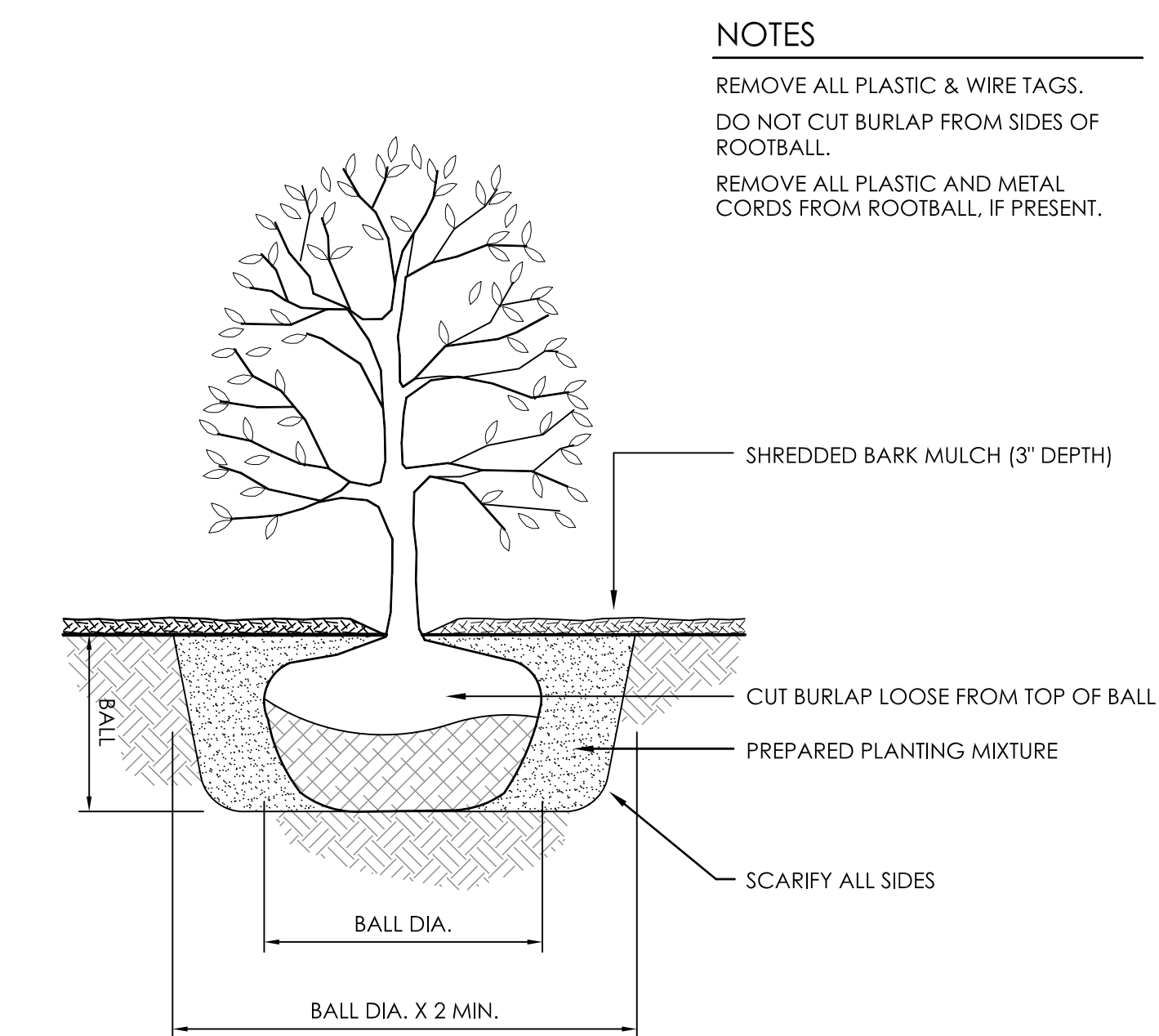
NOTES

- REMOVE ALL PLASTIC & WIRE TAGS.
- DO NOT CUT BURLAP FROM SIDES OF BALL.
- REMOVE ALL PLASTIC AND METAL CORDS FROM TREE BALL, IF PRESENT.



NOTES

- REMOVE ALL PLASTIC & WIRE TAGS.
- DO NOT CUT BURLAP FROM SIDES OF BALL.
- REMOVE ALL PLASTIC AND METAL CORDS FROM TREE BALL, IF PRESENT.



NOTES

- REMOVE ALL PLASTIC & WIRE TAGS.
- DO NOT CUT BURLAP FROM SIDES OF ROOTBALL.
- REMOVE ALL PLASTIC AND METAL CORDS FROM ROOTBALL, IF PRESENT.

1 PROPOSED DECIDUOUS TREE PLANTING
C-7.1 NOT TO SCALE

2 PROPOSED FLOWERING TREE PLANTING
C-7.1 NOT TO SCALE

3 PROPOSED DECIDUOUS TREE PLANTING
C-7.1 NOT TO SCALE

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860-824-1400, 860-824-1401 fax
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MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED PLANT SCHEDULE & DETAILS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-7.1

REVISION NUMBER - DESCRIPTION - DATE - INITIAL

PROPOSED DECIDUOUS TREES



AF-ACER x FREEMANII 'JEFFERSRED'
(AUTUMN BLAZE MAPLE)



AS-ACER SACCHARUM 'GREEN MOUNTAIN' (GREEN MOUNTAIN SUGAR MAPLE)



BN-BETULA NIGRA 'HERITAGE'
(HERITAGE RIVER BIRCH)



SA-SALIX ALBA 'NIOBE'
(GOLDEN WEEPING WILLOW)



QC-QUERCUS COCCINEA
(SCARLET OAK)



NS-NYSSA SYLVATICA
(BLACK GUM)

PROPOSED FLOWERING TREES



CC-CERCIS CANADENSIS
(EASTERN REDBUD)



CF-CORNUS FLORIDA 'CHEROKEE BRAVE'
(CHEROKEE BRAVE FLOWERING DOGWOOD)



CV-CHIONATHUS VIRGINICUS
(FRINGE TREE)



MS-MAGNOLIA STELLATA 'ROYAL STAR'
(ROYAL STAR MAGNOLIA)



MV-MAGNOLIA VIRGINIANA
(SWEETBAY MAGNOLIA)



SA-SORBUS AMERICANA
(AMERICAN MOUNTAIN ASH)



SR-SYRINGA RETICULATA 'IVORY SILK'
(JAPANESE TREE LILAC)

PROPOSED EVERGREENS



AC-ABIES CONCOLOR
(WHITE FIR)



PA-PICEA ABIES
(NORWAY SPRUCE)



TC-TSUGA CANADENSIS
(EASTERN HEMLOCK)



PP-PICEA PUNGENS
(COLORADO SPRUCE)

PROPOSED SHRUBS



AD-AZALEA 'DELAWARE VALLEY WHITE'
(DELAWARE VALLEY WHITE AZALEA)



AT-AZALEA 'TRADITION'
(TRADITION PINK AZALEA)



AP-AESCULUS PARVIFLORA
(BOTTLEBRUSH BUCKEYE)



CA-CLETHRA ALNIFOLIA 'HUMMINGBIRD'
(SUMMERSWEET)



CF1-CALYCANTHUS FLORIDUS
(CAROLINA ALLSPICE)



CR-COTINUS COGGYGRIA 'ROYAL PURPLE'
(ROYAL PURPLE SMOKETREE)



HL-HIBISCUS SYRIACUS 'LUCY'
(LUCY ROSE OF SHARON)



HL-HIBISCUS SYRIACUS 'PURPLE PILLAR'
(PURPLE PILLAR ROSE OF SHARON)



HP-HYDRANGEA PANICULATA 'PHANTOM'
(PHANTOM HYDRANGEA)



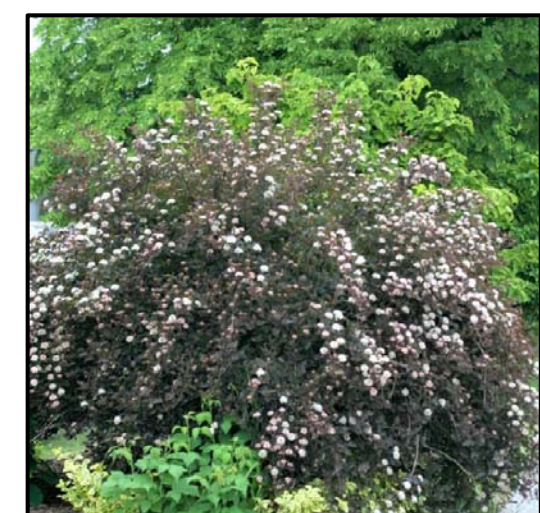
HP1-HYDRANGEA PANICULATA 'BOBO'
(BOBO DWARF HYDRANGEA)



IG-ILEX GLABRA 'GEM BOX'
(GEM BOX DWARF INKBERRY)



KL-KALMIA LATIFOLIA
(MOUNTAIN LAUREL)



PO-PHYSCARPUS OPULIFOLIUS
(SUMMER WINE NINEBARK)



SP-SYRINGA PATULA 'MISS KIM'
(MISS KIM LILAC)



VC-VIBURNUM CARLESII
(KOREAN SPICE VIBURNUM)



VC-VIBURNUM CARLESII
(KOREAN SPICE VIBURNUM)



TO-THUJA OCCIDENTALIS 'SMARAGO'
(EMERALD GREEN ARBORVITAE)



WF-WEIGELA FLORIDA 'WINE AND ROSE'
(WINE AND ROSE WEIGELA)

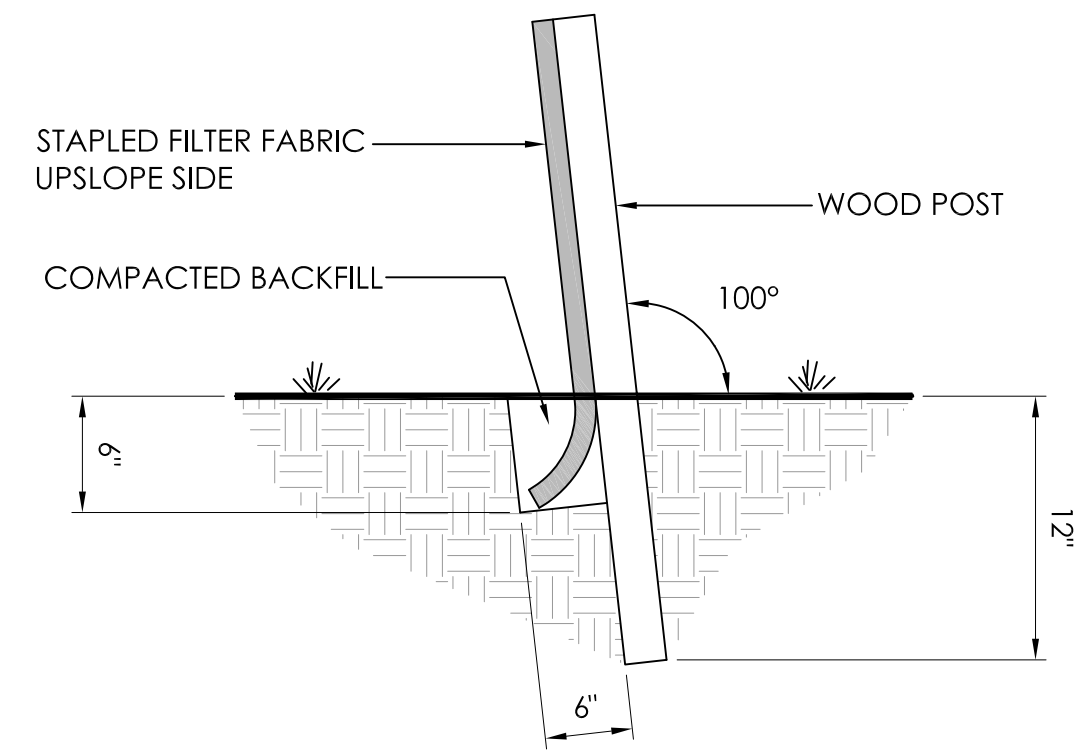
SCALE

AEFA
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aef.a@gmail.com

REVISION NUMBER - DESCRIPTION - DATE - INITIAL

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED PLANT IMAGES
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: NOT TO SCALE
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. C-7.2



- EXCAVATE 6"x6" TRENCH ON THE UPSLOPE SIDE OF THE FENCE LOCATION.
- DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST 12" INTO ORIGINAL GROUND.
- ANGLE POSTS 10 DEGREES UPHILL TO OVER COMPENSATE FOR ANY SAGGING IN FENCE DUE TO PRESSURE FROM BUILT UP SEDIMENT.
- STAPLE OR SECURE GEOTEXTILE TO THE POSTS PER MANUFACTURERS RECOMMENDATIONS SUCH THAT 6" OF FABRIC LIES IN THE TRENCH.
- BACKFILL THE TRENCH WITH THE EXCAVATED TRENCH MATERIAL OVER THE FABRIC. TAMP TO COMPACT THE SOIL.

1 TYPICAL SILT FENCE DETAIL
ES-1 NOT TO SCALE

GENERAL NOTES/SPECIFICATIONS

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE ALL WORK OUTLINED.
- ALL WORK SHALL BE DONE FOLLOWING THE LAWS, REGULATIONS, STANDARDS AND REQUIREMENTS ESTABLISHED BY THE STATE OF CONNECTICUT AND TOWN OF NORFOLK.
- ALL EXISTING SITE FEATURES SHALL REMAIN AS IS UNLESS NOTED ON DRAWINGS.
- STATE LAW REQUIRES: CALL BEFORE YOU DIG 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK. ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER. NO CHANGES TO THE PROPOSED CONSTRUCTION CAN BE MADE WITHOUT PRIOR APPROVAL.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL METHODS DEEMED NECESSARY BY THE TOWN OF NORFOLK STAFF SHALL BE IMPLEMENTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY EXISTING CONDITION WHICH IS DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ANY REFUSE OR DEBRIS MUST BE CLEANED UP DAILY AND DISPOSED OF PROPERLY AT THE CONTRACTORS EXPENSE.

CONSTRUCTION SEQUENCE:

- OBTAIN ALL NECESSARY PERMITS.
- CONTACT CALL-BEFORE-YOU-DIG (1-800-922-4455) TO MARK OUT LOCATION OF ALL EXISTING UTILITIES ON AND ADJACENT TO SITE.
- INSTALL EROSION CONTROL MEASURES AS SHOWN ON PLAN.
- CUT AND REMOVE EXISTING BRUSH AND TREES AS REQUIRED. WOOD CHIPS FROM CLEARING OPERATIONS MAY BE USED ON SITE FOR EROSION CONTROL ACCORDING TO SPECIFICATIONS SPELLED OUT ON PLANS.
- INSTALL ALL UNDERGROUND DRAINAGE AND UTILITIES.
- ROUGH GRADE SITE AS SHOWN ON PLAN.
- PREPARE SITE AND INSTALL PROPOSED PAVEMENTS, STRUCTURES AND AMENITIES AS SHOWN ON PLAN.
- PLANT, SEED, MULCH AND FERTILIZE ALL DISTURBED AREAS AS REQUIRED PER SPECIFICATIONS ON PLANS.
- REMOVE SEDIMENTATION AND EROSION CONTROL MEASURES ONLY AFTER ALL AREAS ARE STABILIZED.
- THE PERSON RESPONSIBLE FOR THE PROPER IMPLEMENTATION OF THE DESIGN AND/OR FIXING ANY POTENTIAL PROBLEMS IS THE OWNER OR THEIR DESIGNEE.

STOCKPILE MANAGEMENT

STOCKPILE MANAGEMENT OF TOPSOIL AND OTHER TYPES OF ERODIBLE SOILS IS NECESSARY TO PREVENT UNNECESSARY DAMAGE RESULTING FROM EROSION OF STOCKPILE MATERIAL. LOCATE STOCKPILES SO THAT NATURAL DRAINAGE IS NOT OBSTRUCTED. ATTEMPT TO MAXIMIZE THE DISTANCE OF STOCKPILES FROM WETLANDS, WATERCOURSES, DRAINAGE WAYS, AND STEEP SLOPES. WHEN THE STOCKPILE IS DOWN GRADIENT FROM A LONG SLOPE, DIVERT RUNOFF WATER AWAY FROM OR AROUND THE STOCKPILE. INSTALL A GEOTEXTILE SILT FENCE OR HAY BALE BARRIER AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE PROPOSED TOE OF THE SLOPE. THE SIDE SLOPES OF STOCKPILED MATERIAL THAT IS ERODIBLE SHOULD BE NO STEEPER THAN 2:1. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. THE SEED MIX USED DEPENDS UPON THE STOCKPILED MATERIAL AND THE LENGTH OF TIME IT IS TO REMAIN STOCKPILED. INFORMATION GATHERED FROM SOIL BORINGS AND SOIL DELINEATIONS CAN BE USED TO PLAN THE TYPE OF SEED AND ANY SOIL AMENDMENTS THAT ARE APPROPRIATE FOR THE STOCKPILE. AFTER THE STOCKPILE HAS BEEN REMOVED, THE SITE SHOULD BE GRADED AND PERMANENTLY STABILIZED. IF A STOCKPILE IS LOCATED OFF-SITE, LOCAL ZONING APPROVAL MAY BE REQUIRED. IN ADDITION TO THE ABOVE CRITERIA, STOCKPILES THAT ARE LOCATED OFF-SITE REQUIRE A CONSTRUCTION ENTRANCE PAD INSTALLED AT THAT SITE. DEPENDING ON THE VOLUME OF TRAFFIC, THE INSTALLATION OF "TRUCK CROSSING" SIGNS AND SWEEPING OF THE ROADWAY MAY ALSO BE NECESSARY.

PERMANENT SEEDING/SOIL STABILIZATION

- PREPARE ALL DISTURBED AREAS TO RECEIVE PERMANENT SEEDING. AVOID OVERTILLING AREA TO PREVENT EXPOSING WEED SEEDS. ADD TOPSOIL AND FINE GRADE AS REQUIRED.
- ALL DISTURBED AREAS WILL BE SEEDDED AS FOLLOWS:

SLOPED AREA

NEW ENGLAND WETLAND PLANTS, INC
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM

New England Erosion Control/Restoration Mix for Dry Sites

Botanical Name	Common Name	Indicator
<i>Elymus canadensis</i>	Canada Wild Rye	FACU+
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Lolium multiflorum</i>	Annual Ryegrass	
<i>Lolium perenne</i>	Perennial Ryegrass	
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Sorghastrum nutans</i>	Indian Grass	UPL

APPLY: 35 LBS/ACRE :1250 sq ft/lb

The New England Erosion Control/Restoration Mix for Dry Sites provides an appropriate selection of native and naturalized grasses to ensure that dry and recently disturbed sites will be quickly revegetated and the soil surface stabilized. It is an appropriate seed mix for road cuts, pipelines, steeper slopes, and areas requiring quick cover during the ecological restoration process. The mix may be applied by hydro-seeding, by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper soil-seed contact. Best results are obtained with a Spring or late Summer seeding. Late Spring through Mid-Summer seeding will benefit from a light mulching of weed-free straw to conserve moisture. If conditions are drier than usual, watering will be required. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free seed bed is necessary for optimal results.

BOTTOM OF SLOPE/WETLAND AREA

NEW ENGLAND WETLAND PLANTS, INC
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM

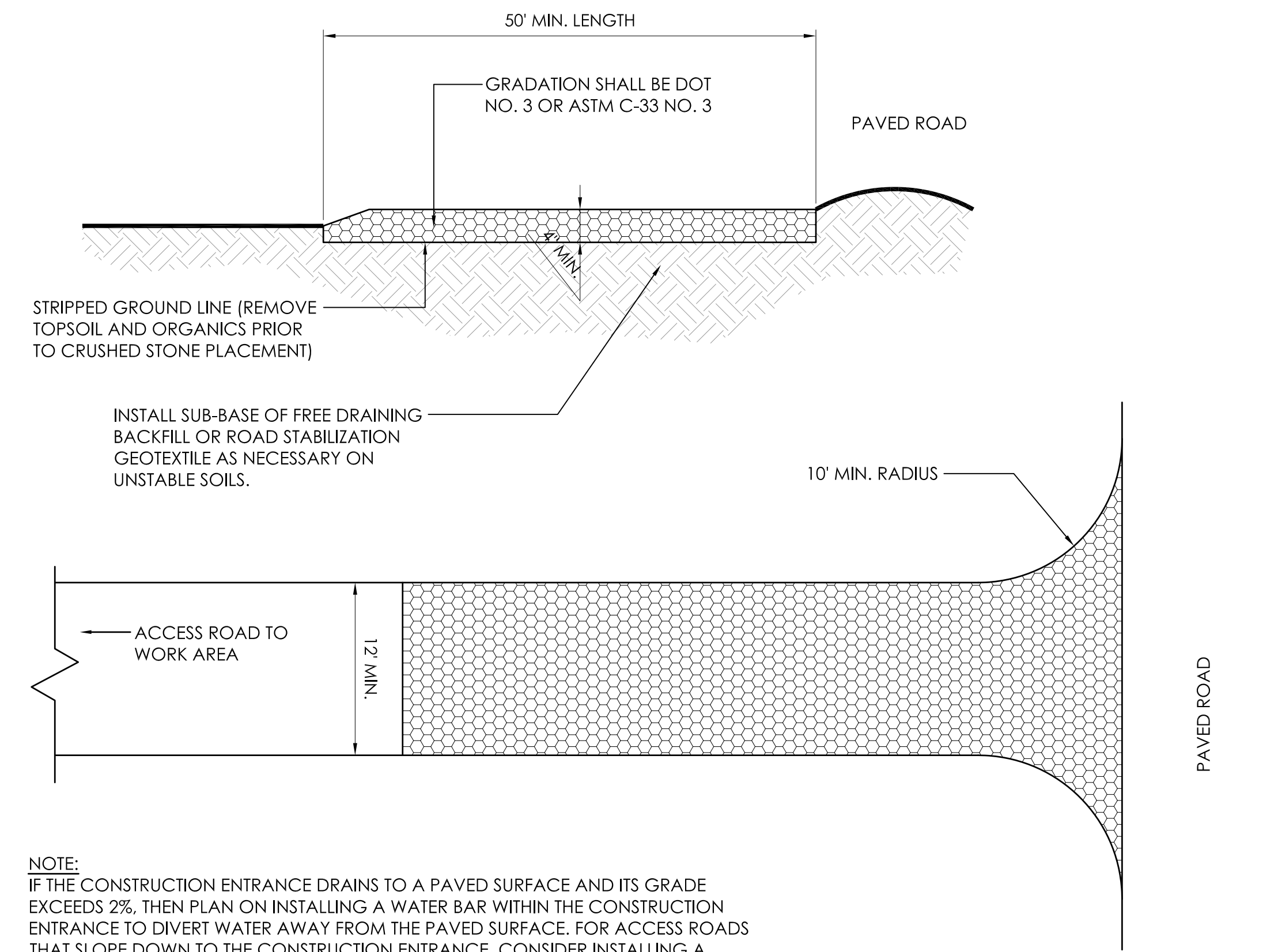
New England Erosion Control/Restoration Mix For Detention Basins and Moist Sites

Botanical Name	Common Name	Indicator
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Andropogon gerardii</i>	Big Bluestem	FAC
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Vernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Agrostis peremans</i>	Upland Bentgrass	FACU
<i>Bidens frondosa</i>	Beggar Ticks	FACW
<i>Eupatorium maculatum (Eutrochium maculatum)</i>	Spotted Joe Pye Weed	OBL
<i>Eupatorium perfoliatum</i>	Boneset	FACW
<i>Aster novae-angliae (Symphyotrichum novae-anglia)</i>	New England Aster	FACW-
<i>Scirpus cyperinus</i>	Wool Grass	FACW
<i>Juncus effusus</i>	Soft Rush	FACW+

APPLY: 35 LBS/ACRE :1250 sq ft/lb

The New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites contains a selection of native grasses and wildflowers designed to colonize generally moist, recently disturbed sites where quick growth of vegetation is desired to stabilize the soil surface. It is an appropriate seed mix for ecologically sensitive restorations that require stabilization as well as long-term establishment of native vegetation. This mix is particularly appropriate for detention basins that do not hold standing water. Many of the plants in this mix can tolerate infrequent inundation, but not constant flooding. The mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late Fall and Winter dormant seeding requires an increase in the application rate. A light mulching of clean, weed-free straw is recommended

- SEED WITH A PERMANENT SEED MIXTURE WITHIN 7 DAYS AFTER ESTABLISHING FINAL GRADES. SEEDING IS RECOMMENDED FROM APRIL 1 THROUGH JUNE 15 AND AUGUST 14 THROUGH OCTOBER 1 (OR AS RECOMMENDED BY SEED SUPPLIER).
- FOR AREAS WHERE TEMPORARY EROSION CONTROL BLANKETS ARE TO BE USED INSTEAD OF STRAW MULCH, PREPARE THE SEED BED IN ACCORDANCE WITH BLANKET MANUFACTURER'S RECOMMENDATIONS.
- INSPECT SEED BED JUST BEFORE SEEDING, IF THE SOIL IS COMPACTED, CRUSTED OR HARDENED, SCARIFY THE AREA PRIOR TO SEEDING. APPLY SELECTED SEED AT RATES PROVIDED BY MANUFACTURER UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED, MULCH). NORMAL SEEDING DEPTH IS FROM 0.25 TO 0.5 INCH. INCREASE SEEDING RATES BY 10% WHEN HYDROSEEDING.
- IF NOT HYDROSEEDING, APPLY STRAW MULCH OR EROSION BLANKET AS REQUIRED.
- WHEN SEEDING OUTSIDE OF THE RECOMMENDED SEEDING DATES IN THE SUMMER MONTHS, WATERING MAY BE ESSENTIAL TO THE ESTABLISH A NEW SEEDING. EACH APPLICATION MUST BE UNIFORMLY APPLIED WITH 1 TO 2 INCHES OF WATER APPLIED PER APPLICATION, SOAKING THE GROUND TO A DEPTH OF 4 INCHES. INSPECT SEEDER AREA AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER DURING THE FIRST GROWING SEASON.
- WHERE SEED HAD BEEN MOVED OR WHERE SOIL EROSION HAS OCCURRED DETERMINE THE CAUSE OF THE FAILURE. RE-SEED AND RE-MULCH, IF MOVEMENT WAS THE RESULT OF WIND, REPAIR EROSION DAMAGE (IF ANY), RE-APPLY SEED AND MULCH, AND APPLY MULCH ANCHORING. IF FAILURE WAS CAUSED BY CONCENTRATED WATER, 1) INSTALL ADDITIONAL MEASURES TO CONTROL WATER AND SEDIMENT MOVEMENT, 2) REPAIR EROSION DAMAGE, 3) RE-SEED AND 4) RE-APPLY MULCH WITH ANCHORING OR USE TEMPORARY EROSION CONTROL BLANKET AND/OR PERMANENT TURF REINFORCEMENT MAT.



NOTE:
IF THE CONSTRUCTION ENTRANCE DRAINS TO A PAVED SURFACE AND ITS GRADE EXCEEDS 2%, THEN PLAN ON INSTALLING A WATER BAR WITHIN THE CONSTRUCTION ENTRANCE TO DIVERT WATER AWAY FROM THE PAVED SURFACE. FOR ACCESS ROADS THAT SLOPE DOWN TO THE CONSTRUCTION ENTRANCE, CONSIDER INSTALLING A WATER BAR AND ASSOCIATED SEDIMENT BARRIER TO PROTECT THE CONSTRUCTION ENTRANCE FROM UNNECESSARY SILTATION DURING STORM EVENTS.

2 CONSTRUCTION ENTRANCE DETAIL
ES-1 NOT TO SCALE

SEA

AEEA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
P.O. Box 770, Norwalk, CT 06018
860-824-1400 860-824-1401 fax
aeta.george@gmail.com

REVISION NUMBER - DESCRIPTION - DATE - INITIAL

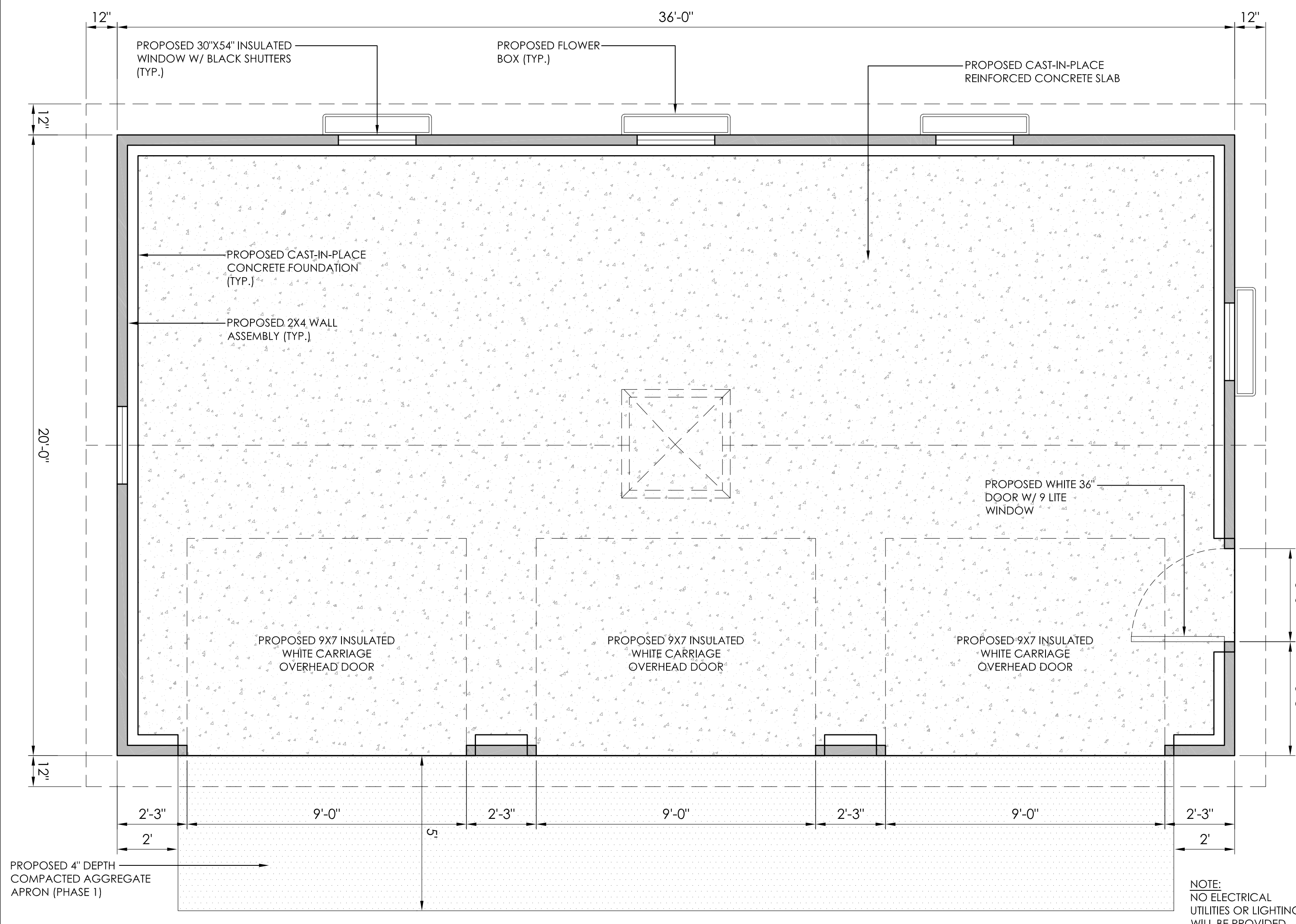
MANOR HOUSE INN PROPERTY IMPROVEMENT
SEDIMENTATION AND EROSION CONTROL NOTES
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: 1"=16'
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING

PROJECT NO. 1075

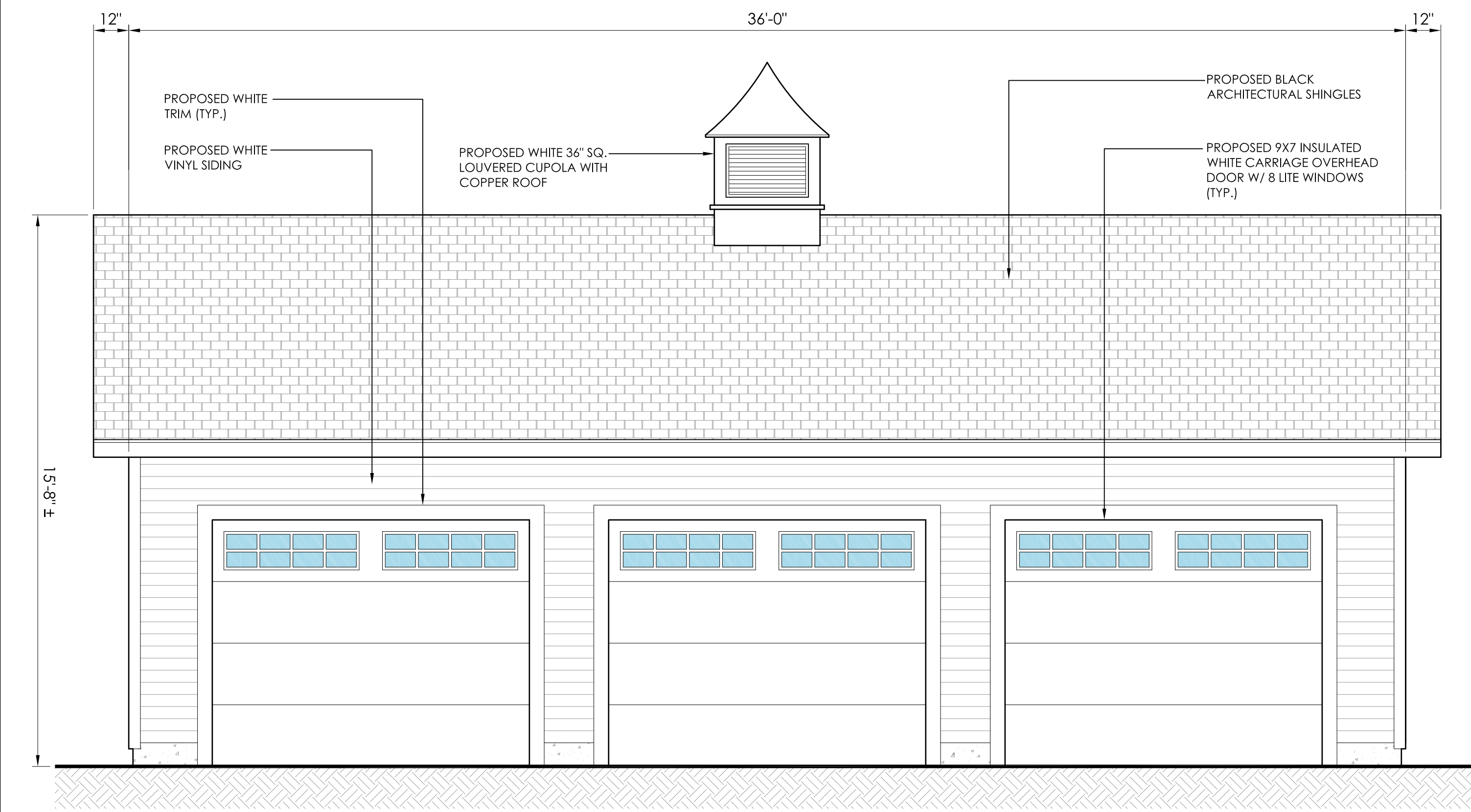
DRAWING NO. ES-1

ES-1



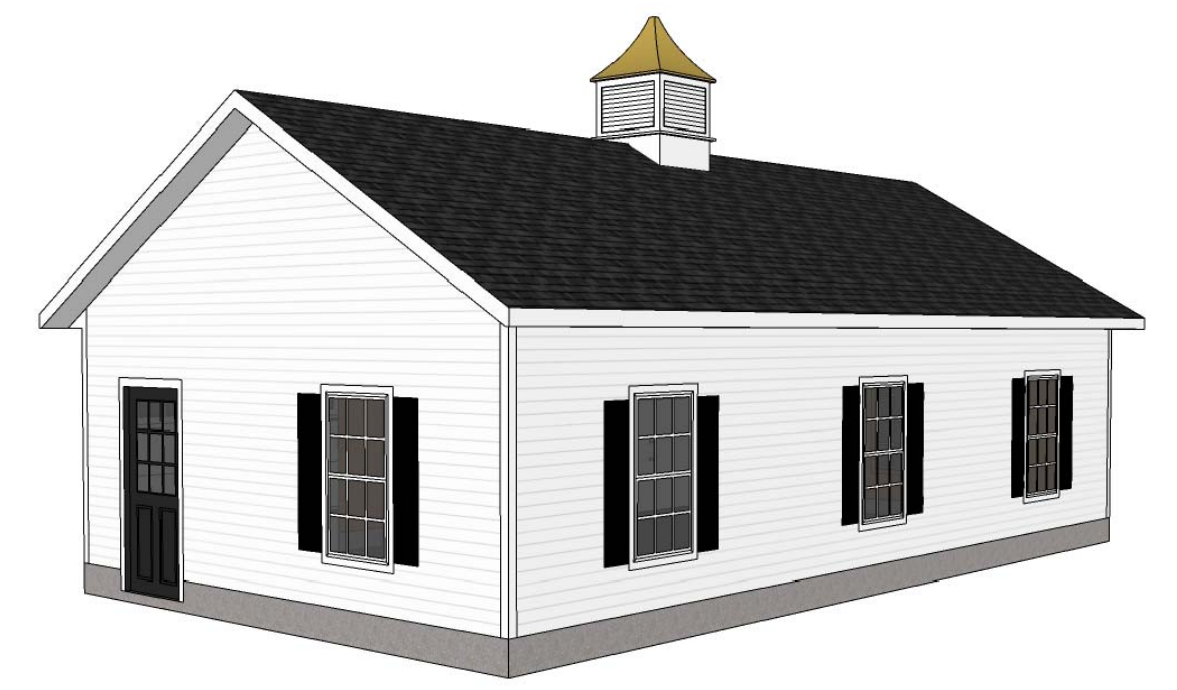
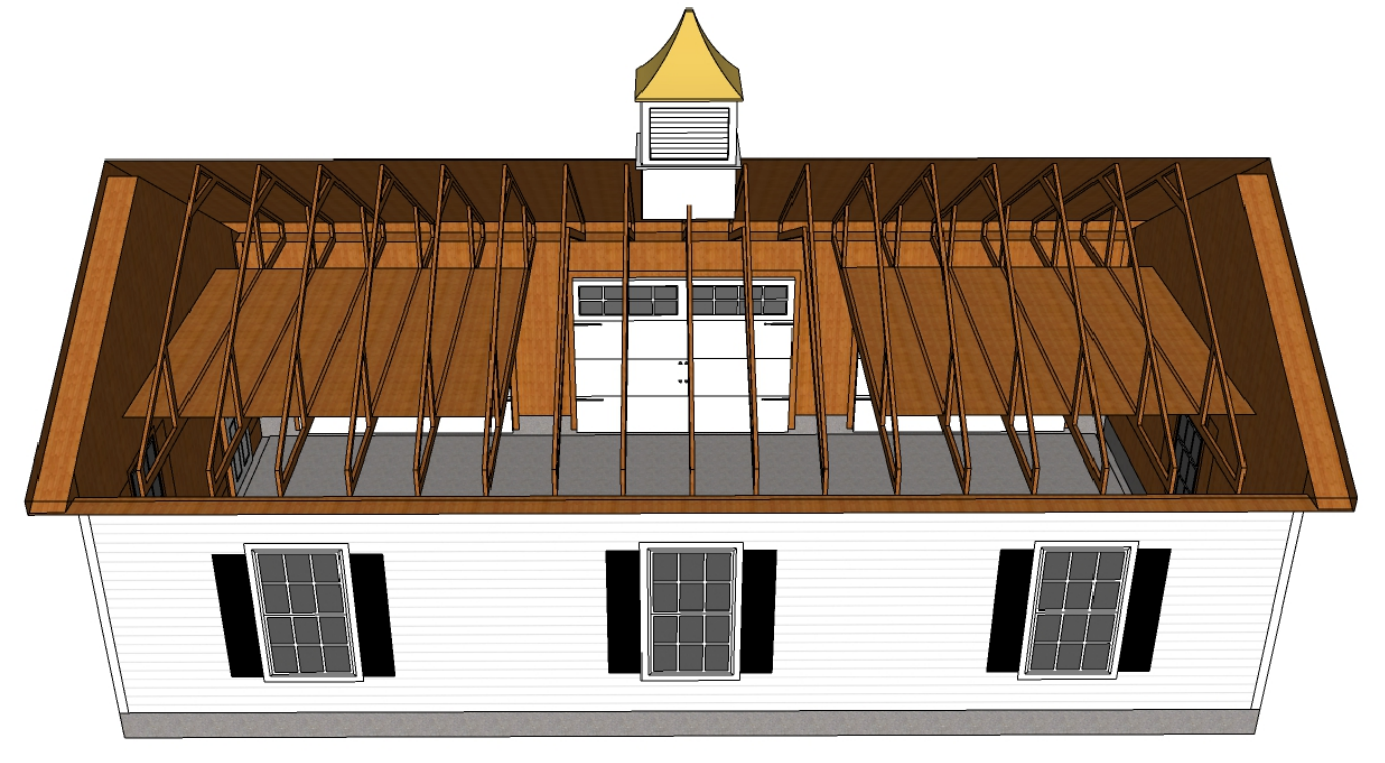
1 PROPOSED STORAGE GARAGE (LAYOUT PLAN)

A-1 SCALE: 3/8"=1'-0"



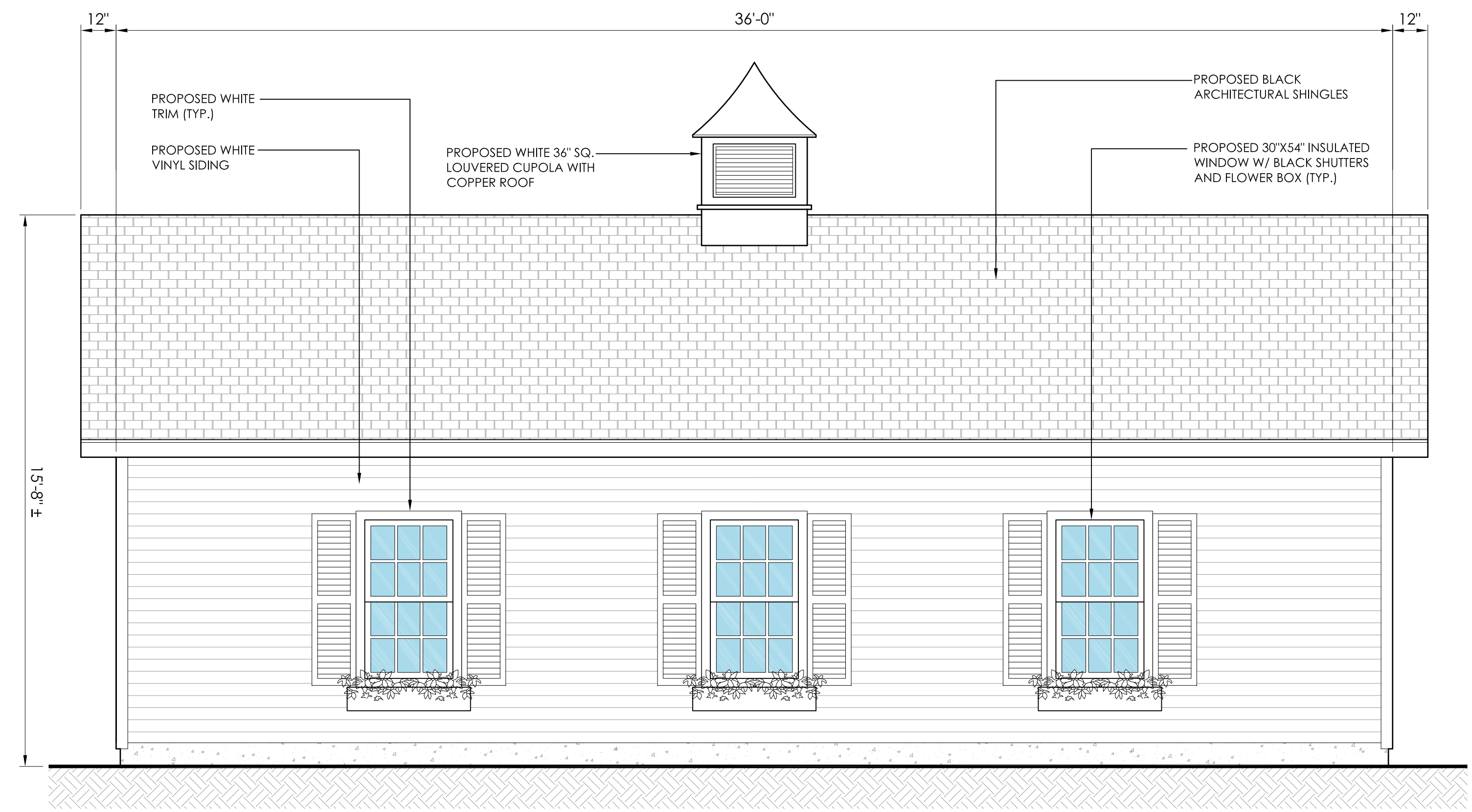
2 PROPOSED STORAGE GARAGE (WEST ELEVATION)

A-1 SCALE: 3/8"=1'-0"



3 PROPOSED STORAGE GARAGE (REPRESENTATIVE IMAGES-KLOTER FARMS)

A-1 NOT TO SCALE



4 PROPOSED STORAGE GARAGE (EAST ELEVATION-MAPLE AVENUE)

A-1 SCALE: 3/8"=1'-0"

PREVIOUS NUMBER - DESCRIPTION - DATE - INITIAL

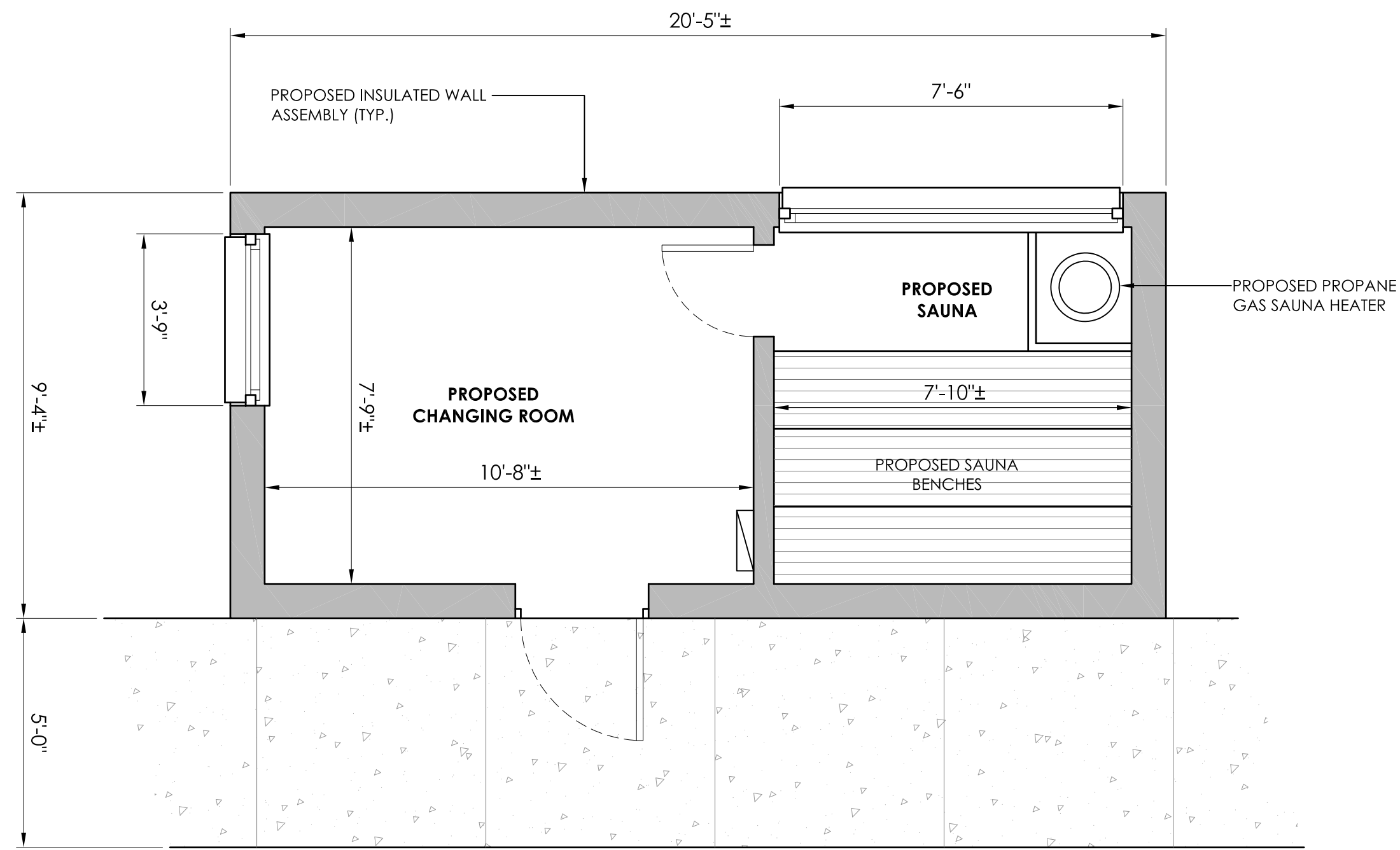
MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED GARAGE PLAN/ELEVATIONS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING

PROJECT NO. 1075
DRAWING NO.

A-1


 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl. East
 P.O. Box 7700
 Norwich, CT 06018
 860-824-1400
 860-824-1401 fax
 aea.george@gmail.com



1 PROPOSED SAUNA PLAN
A-2 SCALE: 3/8"=1'-0"



2 PROPOSED SAUNA (REPRESENTATIVE IMAGES-EXTERIOR)
A-2 NOT TO SCALE



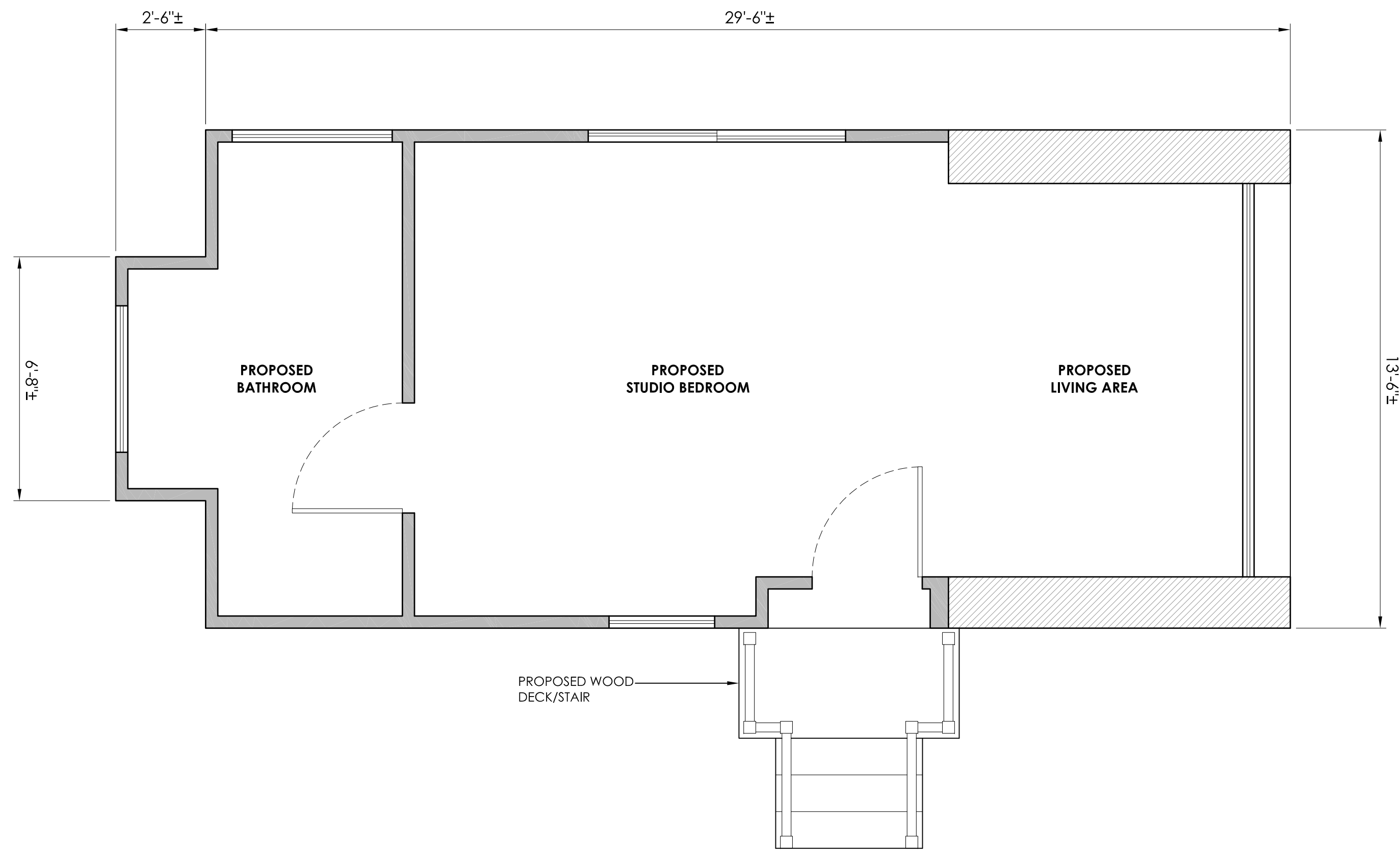
SEA

AEFA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
7700 North Main St., CT 06018
P.O. Box 7700 North Main St., CT 06018
860-824-1400 860-824-1401 fax
aeaf.ae@gmail.com

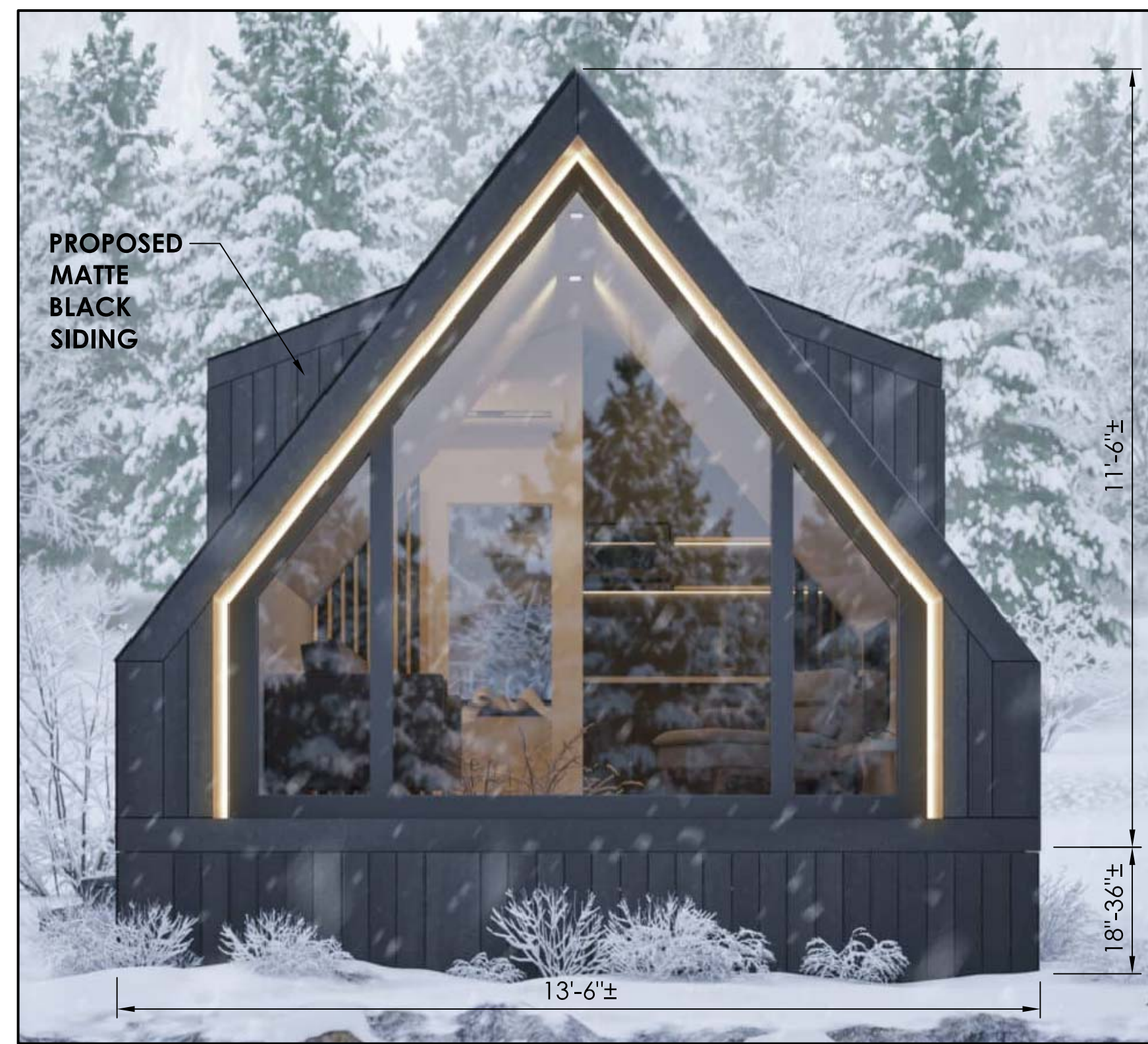
REVISION NUMBER - DESCRIPTION - DATE - INITIAL

MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED SAUNA PLAN/ELEVATIONS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING
PROJECT NO. 1075
DRAWING NO. A-2



1 PROPOSED CABIN PLAN
A-3 SCALE: 3/8"=1'-0"



2 PROPOSED CABIN (REPRESENTATIVE IMAGES-EXTERIOR)
A-3 NOT TO SCALE

SEA

AEFA
Allied Engineering Assoc. Inc.
95 Main St., 3rd Fl. East
770 North Main St., CT 06018
P.O. Box 7700 North Main St., CT 06018
860-824-1400 860-824-1401 fax
aeaf.george@gmail.com

REVISIONS
NUMBER - DESCRIPTION - DATE - INITIAL

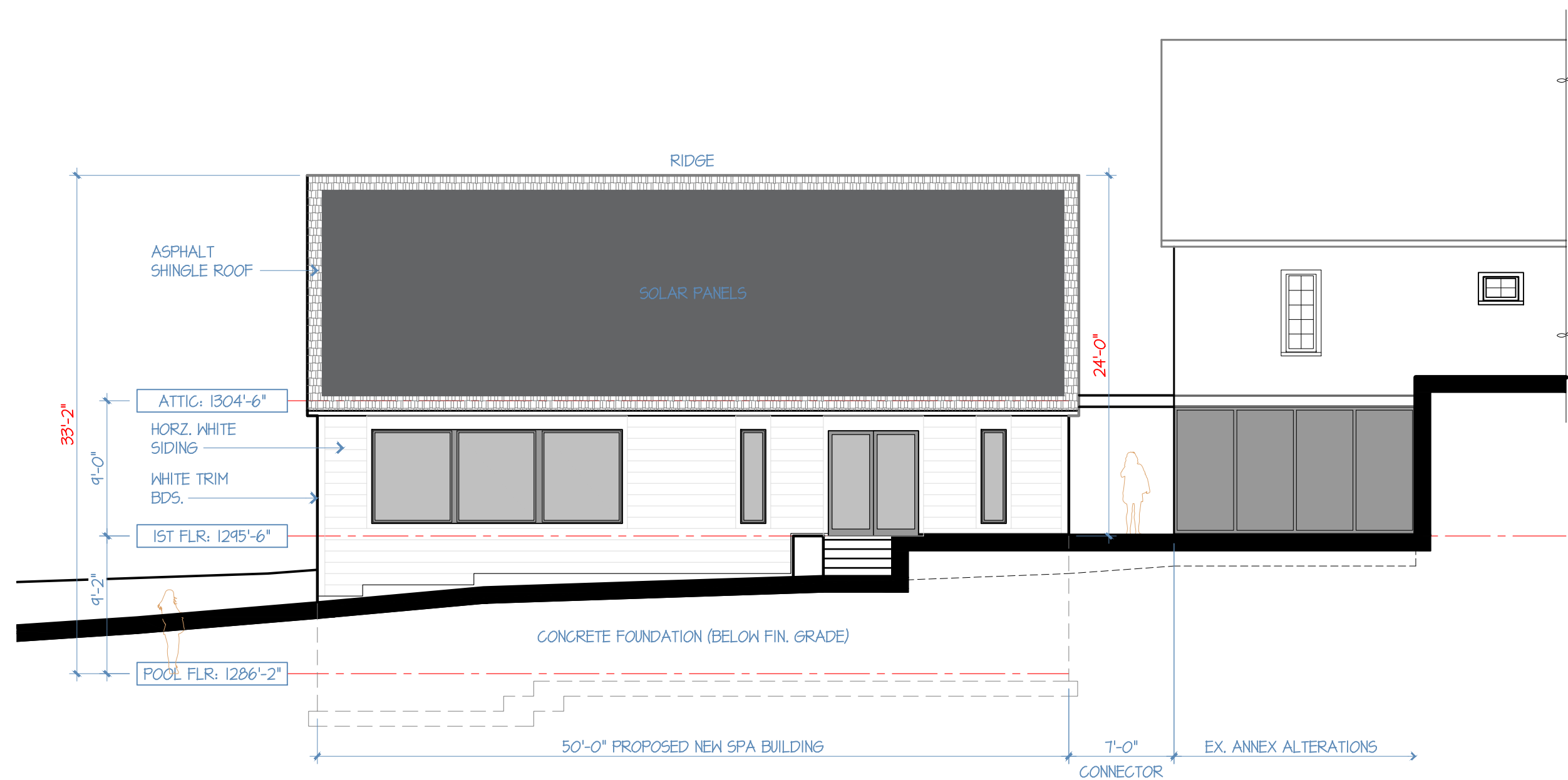
MANOR HOUSE INN PROPERTY IMPROVEMENT
PROPOSED CABIN PLAN/ELEVATIONS
PREPARED FOR:
RAY HOSPITALITY, INC.
69 MAPLE AVENUE
NORFOLK, CT 06058

SCALE: AS NOTED
FILE NAME: 1075-SITE PLAN-1
DATE: DECEMBER 3, 2024
ISSUED FOR: PERMITTING

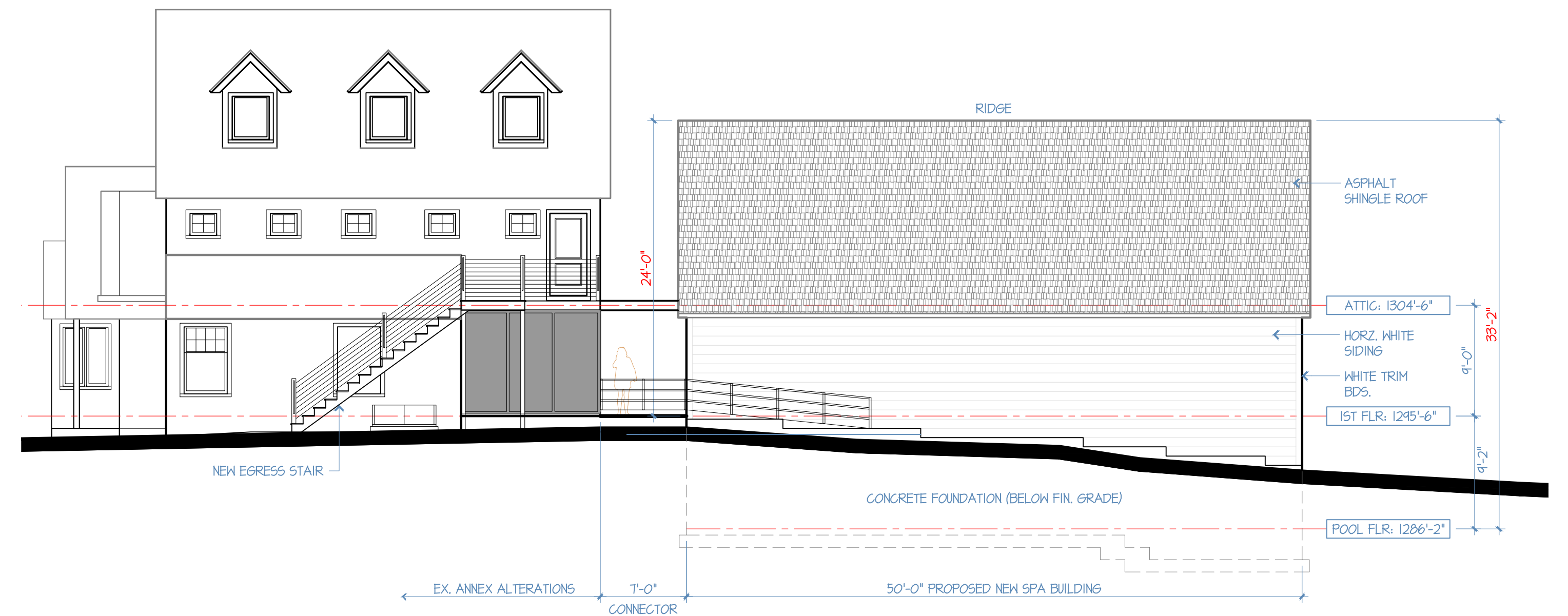
PROJECT NO. 1075

DRAWING NO.

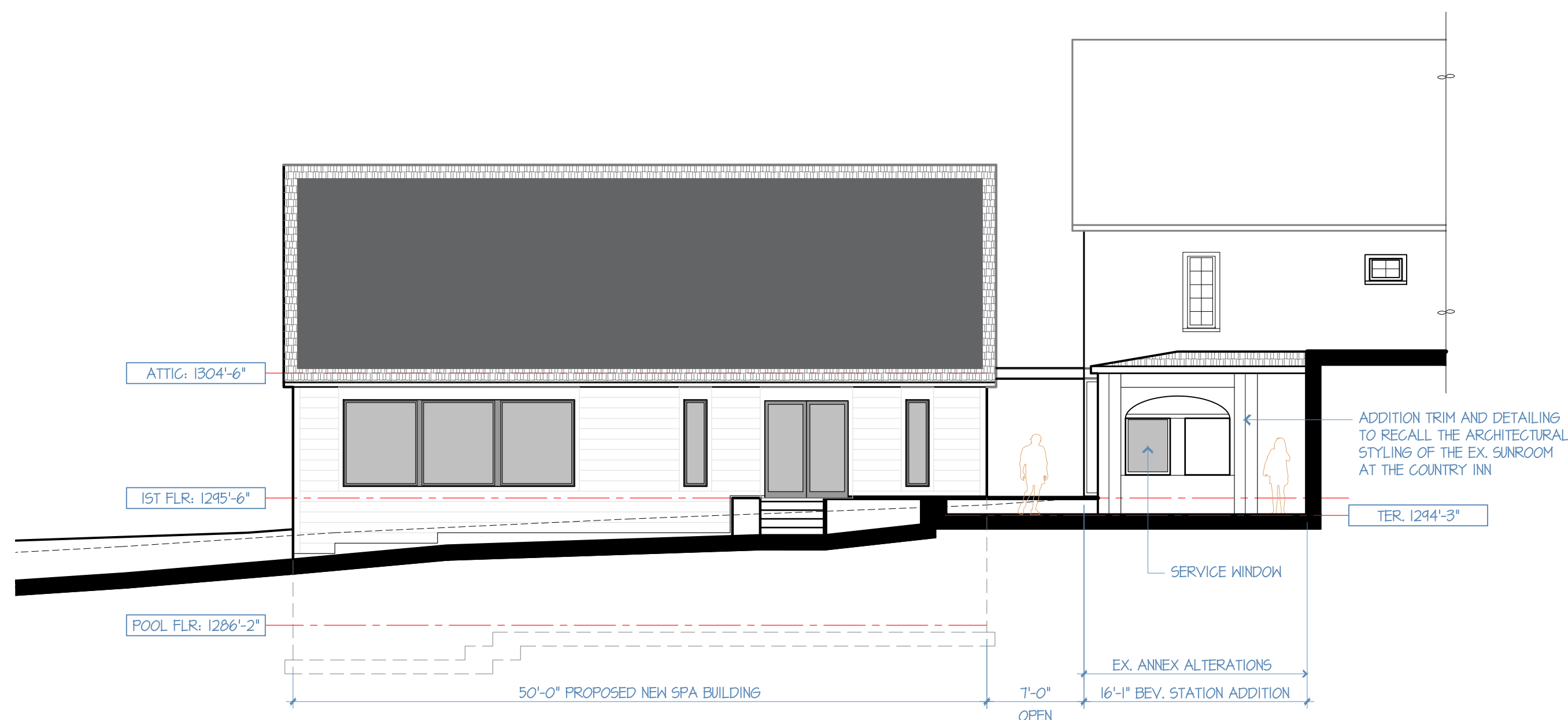
A-3



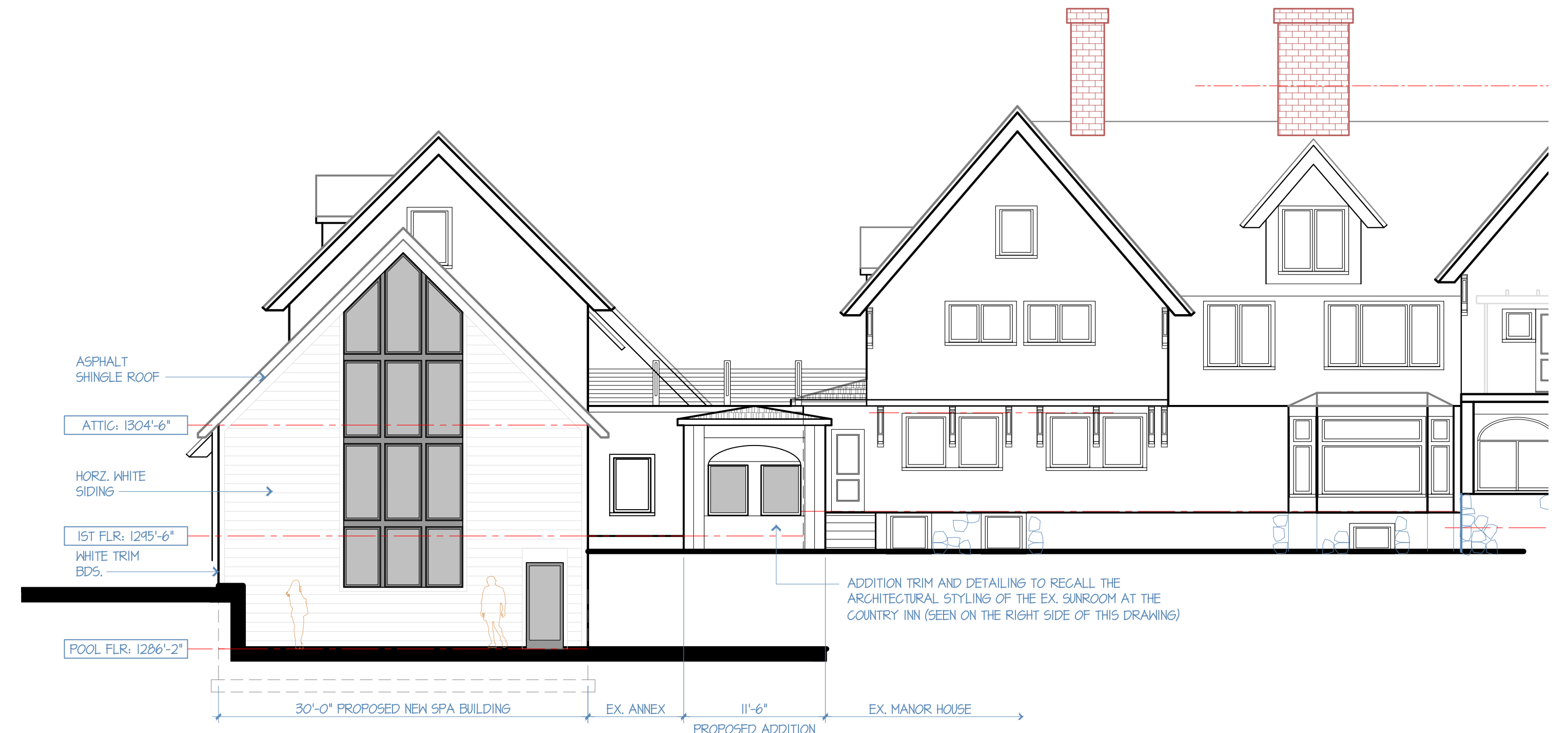
1. PROPOSED SOUTHWEST EXTERIOR ELEVATION
VIEW FROM REAR TERRACES & OUTDOOR SPA AREAS



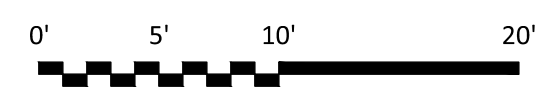
2. PROPOSED NORTHEAST EXTERIOR ELEVATION
VIEW FROM MILLS WAY (NORTH END OF PROPERTY) & PARKING LOT



3. PROPOSED SOUTHWEST EXTERIOR ELEVATION
VIEW FROM REAR TERRACES & OUTDOOR SPA AREAS SHOWING THE BEVERAGE STATION ADDITION



4. PROPOSED NORTHWEST EXTERIOR ELEVATION
VIEW FROM MILLS WAY (WEST END OF PROPERTY) & REAR YARD



ROB WHITE ARCHITECT LLC
441 OXFORD RD., SUITE 3A OXFORD, CT 06478 WWW.ROBWHITEARCHITECT.COM (203) 848-7189
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MANOR HOUSE INN
PROPOSED NEW SPA BUILDING & ANNEX ALTERATIONS FOR RAY HOSPITALITY INC. 6 MAPLE AVE. - NORFOLK, CT 06058

PROPOSED SPA ADDITION
PLANNING AND ZONING COMMISSION REVIEW ONLY DATE: 12/3/2024
SCALE: 1/8" = 1'-0"

A-4.1

POOL LEVEL PLAN INFO.

EXISTING BUILDING AREA

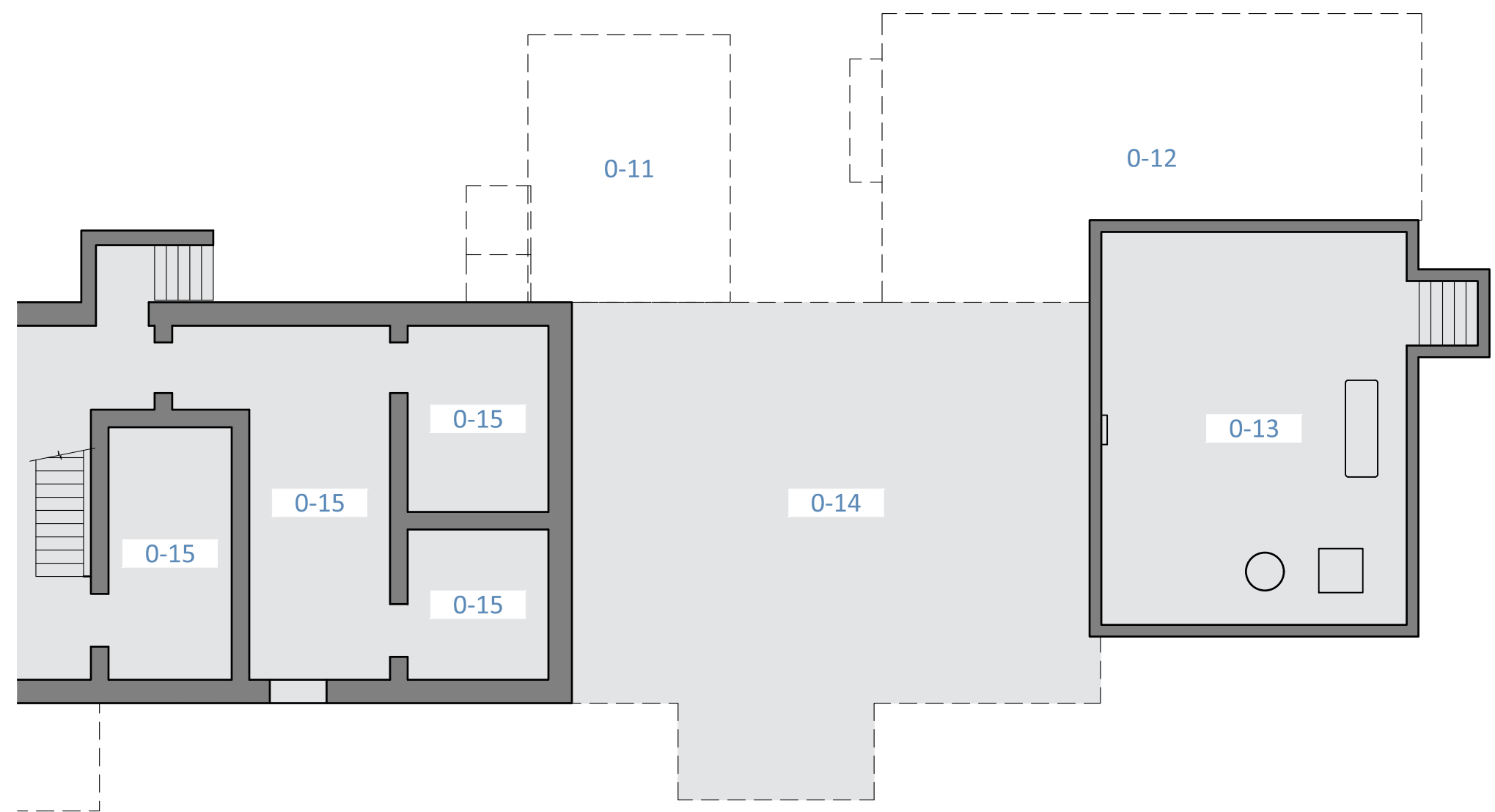
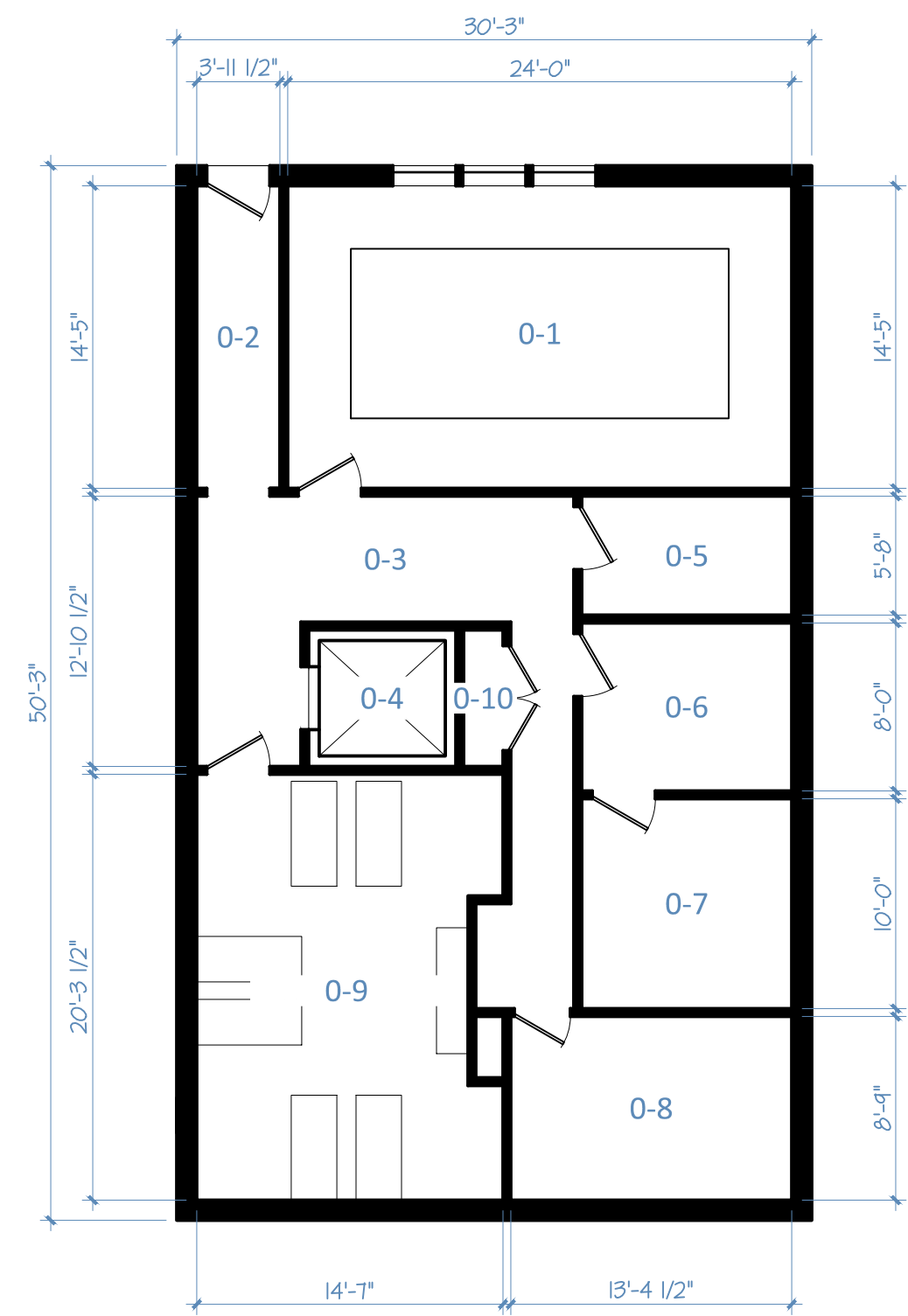
AREAS
1,500 SF NEW SPA BUILDING AREA

NEW AREAS / ROOMS (ADDITION)

- 0-1 POOL
- 0-2 PASSAGE
- 0-3 HALL
- 0-4 ELEVATOR
- 0-5 ADA TOILET
- 0-6 ADA SHOWER
- 0-7 STEAM ROOM
- 0-8 MECHANICAL ROOM
- 0-9 DARK REST ROOM
- 0-10 STORAGE
- 0-11 NEW FOUNDATION (BEV. STATION ABOVE)

EXISTING AREAS / ROOMS

- 0-12 EX. ANNEX ABOVE (NEW FOUNDATION TO CONSTRUCTED IN SAME AREA)
- 0-13 EX. CRAWL SPACE
- 0-14 EX. FOUNDATION / SLAB ON GRADE (ANNEX ABOVE)
- 0-15 EX. BASEMENT



1. PROPOSED LOWER LEVEL FLOOR PLAN
NEW SPA BUILDING & ANNEX ALTERATIONS

1ST FLOOR LEVEL INFO.

EXISTING BUILDING AREA

AREAS
1,500 SF NEW SPA BUILDING AREA
173 SF NEW BEVERAGE STATION ADDITION AREA
1,595 SF EX. ANNEX ALTERATION AREA

NEW AREAS / ROOMS (ADDITION)

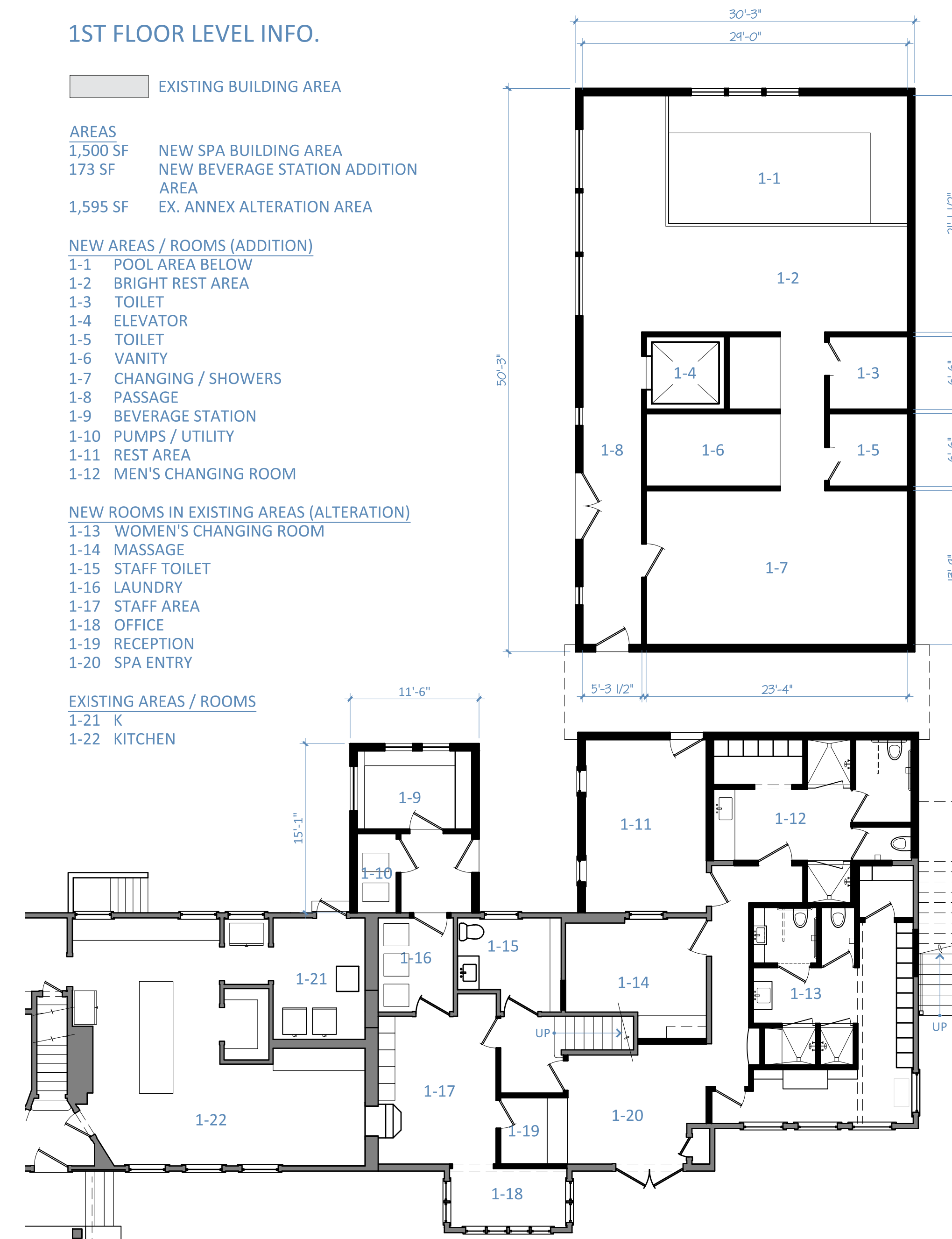
- 1-1 POOL AREA BELOW
- 1-2 BRIGHT REST AREA
- 1-3 TOILET
- 1-4 ELEVATOR
- 1-5 TOILET
- 1-6 VANITY
- 1-7 CHANGING / SHOWERS
- 1-8 PASSAGE
- 1-9 BEVERAGE STATION
- 1-10 PUMPS / UTILITY
- 1-11 REST AREA
- 1-12 MEN'S CHANGING ROOM

NEW ROOMS IN EXISTING AREAS (ALTERATION)

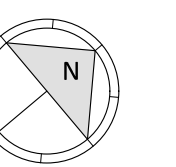
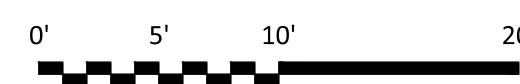
- 1-13 WOMEN'S CHANGING ROOM
- 1-14 MASSAGE
- 1-15 STAFF TOILET
- 1-16 LAUNDRY
- 1-17 STAFF AREA
- 1-18 OFFICE
- 1-19 RECEPTION
- 1-20 SPA ENTRY

EXISTING AREAS / ROOMS

- 1-21 K
- 1-22 KITCHEN



2. PROPOSED 1ST FLOOR PLAN
NEW SPA BUILDING & ANNEX ALTERATIONS



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MANOR HOUSE INN

PROPOSED NEW SPA BUILDING & ANNEX ALTERATIONS FOR RAY HOSPITALITY INC. 6 MAPLE AVE. - NORFOLK, CT 06058

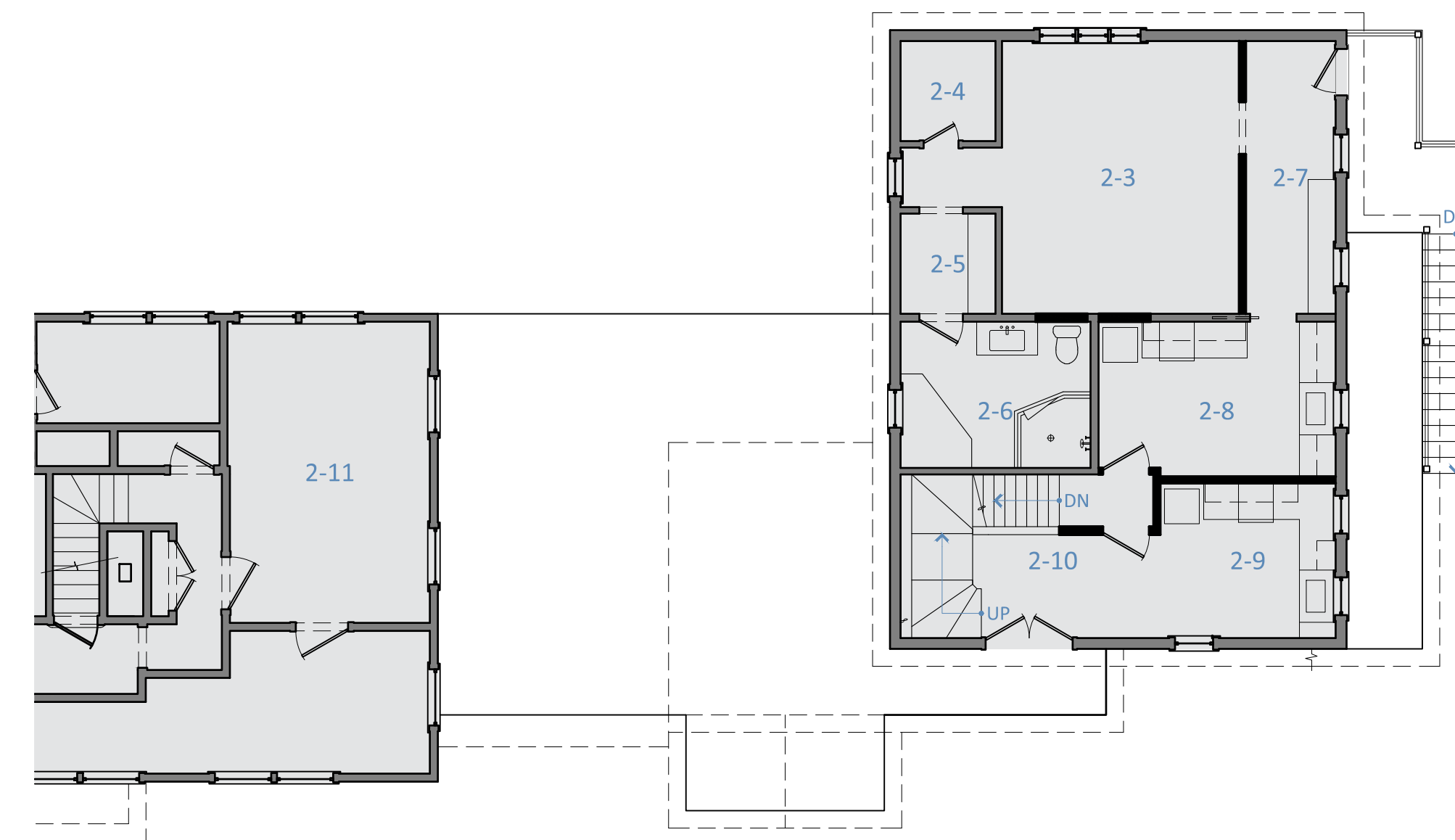
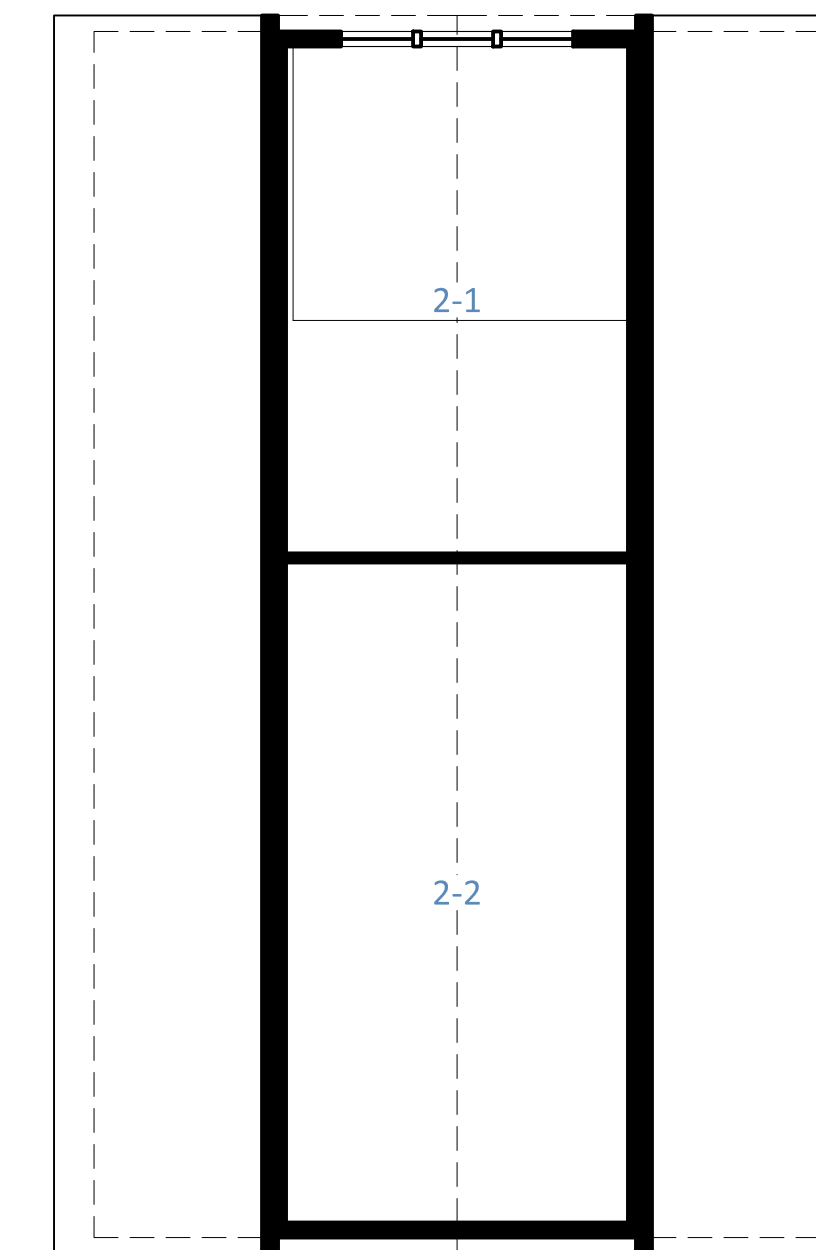
PROPOSED BUILDING PLAN FOR SITE DEVELOPMENT

PLANNING AND ZONING COMMISSION REVIEW ONLY DATE: 12/3/2024
SCALE: 1/8" = 1'-0"

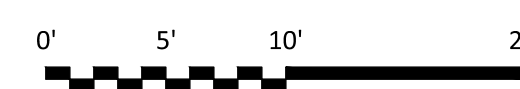
A-4.2

2ND FLOOR LEVEL INFO.

- EXISTING BUILDING AREA
- AREAS
932 SF ANNEX ALTERATION AREA
- NEW AREAS / ROOMS (ADDITION)
2-1 OPEN TO POOL AREA BELOW
2-2 ATTIC
- NEW ROOMS IN EXISTING AREAS (ALTERATION)
2-3 BEDROOM
2-4 CLOSET
2-5 CLOSET
2-6 BATHROOM
2-7 ENTRY
2-8 KITCHENETTE
2-9 KITCHENETTE
2-10 STAIR
- EXISTING AREAS / ROOMS
2-11 EXISTING AREAS IN THE COUNTRY INN
(NO CHANGE)



1. PROPOSED 2ND FLOOR PLAN
NEW SPA BUILDING & ANNEX ALTERATIONS



ROB WHITE ARCHITECT LLC

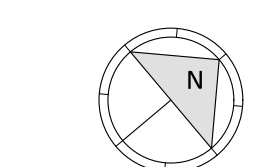
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MANOR HOUSE INN

PROPOSED NEW SPA BUILDING & ANNEX ALTERATIONS FOR RAY HOSPITALITY INC. 6 MAPLE AVE. - NORFOLK, CT 06058

PROPOSED BUILDING PLAN FOR SITE DEVELOPMENT

PLANNING AND ZONING COMMISSION REVIEW ONLY DATE: 12/3/2024
SCALE: 1/8" = 1'-0"



A-4.3